



**Planning & Zoning Commission Meeting Agenda**  
**January 6, 2025 - 5:30 PM**  
**City Council Chambers, City Hall, 3rd Floor,**  
**1528 Third Avenue, Rock Island, IL**

**1. Call to Order**

**2. Roll Call**

Michael Creger, Reshanda Johnson, Donald Mewes, Norm Moline, Samuel Odeyemi, Maureen Riggs,  
Bill Sowards, Tanja Whitten, Sarah Wright

**3. Public Comment**

**4. Minutes**

- a. Approval of the December 2, 2024 Meeting Minutes  
Motion: Move to approve the December 2, 2024 Meeting Minutes  
RC Roll Call vote is needed.

**5. Old Business**

**6. Public Hearings**

- a. 2025-01: Public hearing request from Barry Reuther to consider a variance from the Rock Island Zoning Ordinance in an R-2 residential district for properties at 2933, 2939, 2951 and 2963 9th Street.  
RC Roll Call vote is needed.
- b. 2025-02: Public hearing request from Mike Shorter of Amerco Real Estate Company to consider a special exception from the Rock Island Zoning Ordinance in a B-4 (highway business) district for property at 3840 46th Avenue.  
RC Roll Call vote is needed.

**7. Other Business/New Business**

- a. Code Interpretation of front yard fence height regulation

**8. Adjourn**

*This agenda may be obtained in accessible formats by qualified persons with a disability by making appropriate arrangements from 8:00 am to 5:00 pm, Monday through Friday, by contacting the City Clerk's Office at (309) 732-2010 or visiting in person at: 1528 Third Avenue, Rock Island, IL 61201.*

## Rock Island Planning & Zoning Commission Minutes

Council Chambers, City Hall, 3<sup>rd</sup> Floor

1528 3<sup>rd</sup> Avenue

December 2, 2024

5:30 PM



|                               |                                                                                                                                 |
|-------------------------------|---------------------------------------------------------------------------------------------------------------------------------|
| <b>Voting Members Present</b> | Maureen Riggs<br>Mike Creger<br>Bill Sowards<br>Sarah Wright<br>Tanja Whitten<br>Don Mewes<br>Samuel Odeyemi<br>Norm Moline     |
| <b>Voting Members Absent</b>  | Reshanda Johnson                                                                                                                |
| <b>Staff Present</b>          | Eunice Amisssah-Mensah, Urban Planner<br>Tanner Osing, Planning & Zoning Manager<br>Nichole Mata, Community Development Manager |

### Call to Order and Roll Call

Chair Riggs called the meeting to order at 5:30 PM and read the roll call.

### Public Comment

No members of the public wished to comment so the meeting continued.

### Approval of the Previous Meeting Minutes

Mewes moved to approve the minutes for November 4, 2024. Sowards seconded the motion. The motion carried unanimously on a vote of 7 to 0.

### Public Hearings

2024-20 Public hearing: Request from Stephanie Horton to consider variances from the Rock Island Zoning Ordinance in an R-2 (one-and-two unit residential) district for property at 524 18<sup>th</sup> Avenue.

### Recommendation for Case 2024-20

Creger made a motion to table the request for the next Commission meeting. Whitten seconded the motion. Chair Riggs called for a vote. The motion carried on a vote of 7 to 0 (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, and Creger)

2024-21 Public hearing: Request from Amy McFall to consider a rezoning from I-1 (light industrial) to R-2 (one-and -two unit residential) district for property at 3720 8<sup>th</sup> Street.

Amissah-Mensah read the staff report with the recommendation for approval.

The applicant, Amy McFall, was called forward to speak on the request. Amy McFall concurred with staff's analysis.

As there were no other questions or members of the public wishing to speak, Chair Riggs called for a motion.

#### Recommendation for Case 2024-21

Creger made a motion to recommend to the City Council to approve the rezoning request. Whitten seconded the motion. Chair Riggs called for a vote. The motion carried on a vote of 8 to 0 (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, Moline and Creger)

2024-22 Public hearing: Request from Rock Island County to consider variances from the Rock Island Zoning Ordinance in a B-3 (community business) district for properties at 1411 & 1417 4<sup>th</sup> Avenue.

Amissah-Mensah read the staff report with the recommendation for denial of the request.

Gregg Thorpe, Director of Zoning & Building Safety for Rock Island County spoke on the request. He explained the county's need for the fence and barbed wire addition. He states that the county has experienced theft and damage to the fleet vehicles in the past. He added that there are other county properties with taller fences, and argued that the County is a unique entity and the fence would be shielded by the buildings. He stated that there are plans to improve the lot with grading. He added that there is security lighting on the lot currently and cameras will be installed. He contended that the fence will deter theft.

Commissions noted that the barbed wire addition will create a harsh look along 4<sup>th</sup> Avenue.

As there were no other questions or members of the public wishing to speak, Chair Riggs called for a motion.

#### Recommendation for Case 2024-22

Wright made a motion to approve the 8-foot fence without the barbed wire addition. Mewes seconded the motion. The motion carried on a vote of 7 to 1 (Ayes - Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, and Moline, Nay – Creger)

2024-23 Public hearing: Request from Amir Rasheed to consider an amendment to Special Use Permit from the Rock Island Zoning Ordinance in a B-3 (community business) district for property 2425 11<sup>th</sup> Street.

Recommendation for Case 2024-23

Mewes made a motion to table the request for the next Commission meeting. Sowards seconded the motion. Chair Riggs called for a vote. The motion carried on a vote of 8 to 0 (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, Moline and Creger)

2024-24 Public hearing: Request to consider the revocation of a Special Use Permit from the Rock Island Zoning Ordinance in an R-2 (one-and-two unit residential) district for properties at 1000 & 1006 8<sup>th</sup> Avenue.

Amissah-Mensah read the staff report with the recommendation for the revocation.

Business operator, David Martinez, was present to speak on the request. He stated he was not aware of the stipulation of the Special use permit from 2007. He stated he cleaned up the property and limited the number of vehicles at the property and did not know that cleaning up of the vehicle parts in the back of the building was included. He stated that he saves car parts because otherwise he would have to pay for them elsewhere. Martinez states that he does minor repairs like replacing bumpers, and fenders. He added that some of the vehicles on the lot are waiting for titles from the Secretary of State.

Renee Ruiz, sister of David Martinez addressed Commissioners about the request. She stated that the property has been cleaned up and asked if they could put up privacy fencing for storage on the back side of the property. Commissioners explained that the business is operating outside the parameters of the special use permit and that no vehicle parts should be parked outside.

Cynthia Clark, a neighbor, states that she does not find the business to be an eyesore.

Commissioners concurred with staff about the use and look of the property as a junkyard.

As there were no other questions or members of the public wishing to speak, Chair Riggs called for a motion.

Recommendation for Case 2024-24

Mewes made a motion to recommend revocation of the Special Use Permit to the City Council. Sowards seconded the motion. The motion carried on a vote of 8 to 0. (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, Moline and Creger)

**Other Business**

Approval of the 2025 Planning & Zoning Commission Meeting Schedule

Sowards made a motion to approve the 2025 Planning & Zoning Commission meeting schedule. Wright seconded the motion. The motion carried on a vote of 7 to 0. (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, and Creger)

Code Interpretation of front yard fence height regulation

Mewes made a motion to move the discussion to the next meeting. Whitten seconded the motion. The motion carried on a vote of 7 to 0. (Riggs, Mewes, Odeyemi, Sowards, Wright, Whitten, and Creger)

**Adjournment**

Chair Riggs adjourned the meeting at 6:57 PM.

Minutes submitted by Eunice Amissah-Mensah.

## Memorandum



**To:** Rock Island Planning & Zoning Commission  
**From:** Eunice Amissah-Mensah, Urban Planner, Tanner Osing, Planning & Zoning Manager  
**Subject:** 2025-01: Public hearing request from Barry Reuther to consider a variance from the Rock Island Zoning Ordinance in an R-2 residential district for properties at 2933, 2939, 2951 and 2963 9th Street.  
RC Roll Call vote is needed.  
**Date:** January 6, 2025

---

### **Introduction and Background Information:**

Applicant:  
Barry Reuther

Location:  
2933, 2939, 2951 & 2963 9<sup>th</sup> Street

#### Size of Property:

- 2933 & 2939 9<sup>th</sup> Street - The properties measure 51ft by 290.9ft for a total of 14,810 square feet respectively.
- 2951 9<sup>th</sup> Street - The property measures 150.1ft by 290.9ft for a total of approximately 43,664 square feet.
- 2963 9<sup>th</sup> Street - The property measures 117.3ft by 290.9ft for a total of approximately 34,123 square feet.

Topography:  
The property slopes up from west to east by approximately 2 feet and sits slightly above street level.

#### Zoning History:

- Planning Commission Case 2023-07: Special Use Permit to operate a produce stand business from a garage at 2963 9<sup>th</sup> Street in an R-2 district was approved by City Council.

#### Existing Land Use & Zoning:

The properties are zoned R-2 (one-and-two unit residential) district with single-family homes and accessory structures on properties 2951 and 2963 9<sup>th</sup> Street. To the north and west of the properties are residences zoned R-2. To the south are properties zoned O-2 and R-2 and to the east is property zoned PUD.

Project Details:

Staff investigated a complaint about the applicant installing a 6-foot-tall fence on the properties. The investigation revealed that the applicant had installed a 6-foot-tall black metal fence in the front yard. Staff informed the applicant a variance would be needed to maintain the fence height.

Additionally, the existing fence is located within the 20 foot visibility triangle and encroaches City right-of-way on the 31<sup>st</sup> Avenue side by approximately 2 feet. Staff consulted the City Engineer regarding this situation and intersection visibility. Given the see-through nature of the fence, staff are administratively approving the location so long as the fence is moved out of City right-of-way. The applicant has agreed to do this in early Spring.

Requested Action and Affected Requirements:

The request is for one (1) variance from the Zoning Ordinance as described in Table 1.

Table 1

| Variance | Requested Action                                                                                                                                  | Affected Zoning Requirements                                                                                                                  |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| (1)      | Maintain the existing six (6) foot tall metal fence in the front yard of the properties along 9 <sup>th</sup> Street and 31 <sup>st</sup> Avenue. | Fences located in a yard adjacent to a public street of residential zoned property be no more than 4 feet in height (Chapter 11, Section 13). |

Conditions to Authorize Variances & Staff Analysis:

Variances shall only be authorized if two (2) of the three (3) conditions as provided in Article 8, Section 6-A of the Zoning Ordinance are found. The Commission will make the final decision regarding this request. Table 2 includes the conditions to authorize variances with the corresponding staff analysis and conclusion of if the condition is met.

Table 2

| Conditions to Authorize Variance                                                                                                                       | Staff Analysis                                                                                                                                    | Meets Condition (Yes/No) |
|--------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;   | Staff conclude that the property can yield a reasonable return without a variance as a four (4) foot fence would still offer the security needed. | No                       |
| The plight of the owner is due to unique circumstances. There are exceptional or extraordinary circumstances or conditions applying to the property in | The property at 2963 9 <sup>th</sup> Street faces a unique circumstance as it sits on a corner lot and has 2 front                                | Yes                      |

|                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                              |    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| question as to the intended use of the property that do not apply generally to other properties or classes of uses in the same zoning district; and                                                                                                                   | yards. Additionally, the property at 2951 9 <sup>th</sup> Street is a historical house known as the Dingeldein Wine Hall, and was recently deemed eligible for the National Register of Historic Places. The style of fence is typically regarded as complementary of historical features, such as the Italianate architecture of the house. |    |
| The variance, if granted, will not alter the essential character of the locality. Such variance is necessary for the preservation and enjoyment of a substantial property right-of-way possessed by other properties in the same zoning district and in the vicinity. | Staff reason the fence height will not alter the character of the neighborhood. Nearby properties are a mix of different zoning districts, some of which would allow a 6 foot fence in the front yard. Additionally, the fence has a high degree of see-through visibility, which helps address public safety concerns.                      | No |

**Previous Council Action (if any):**

See zoning history section.

**Budget Impact:**

NA

**Additional Information as applicable (i.e. provide alternative options, community or staff input, staffing impact; resident impact; etc.):**

NA

**Council Goal (if applicable):**

NA

**Recommendation:**

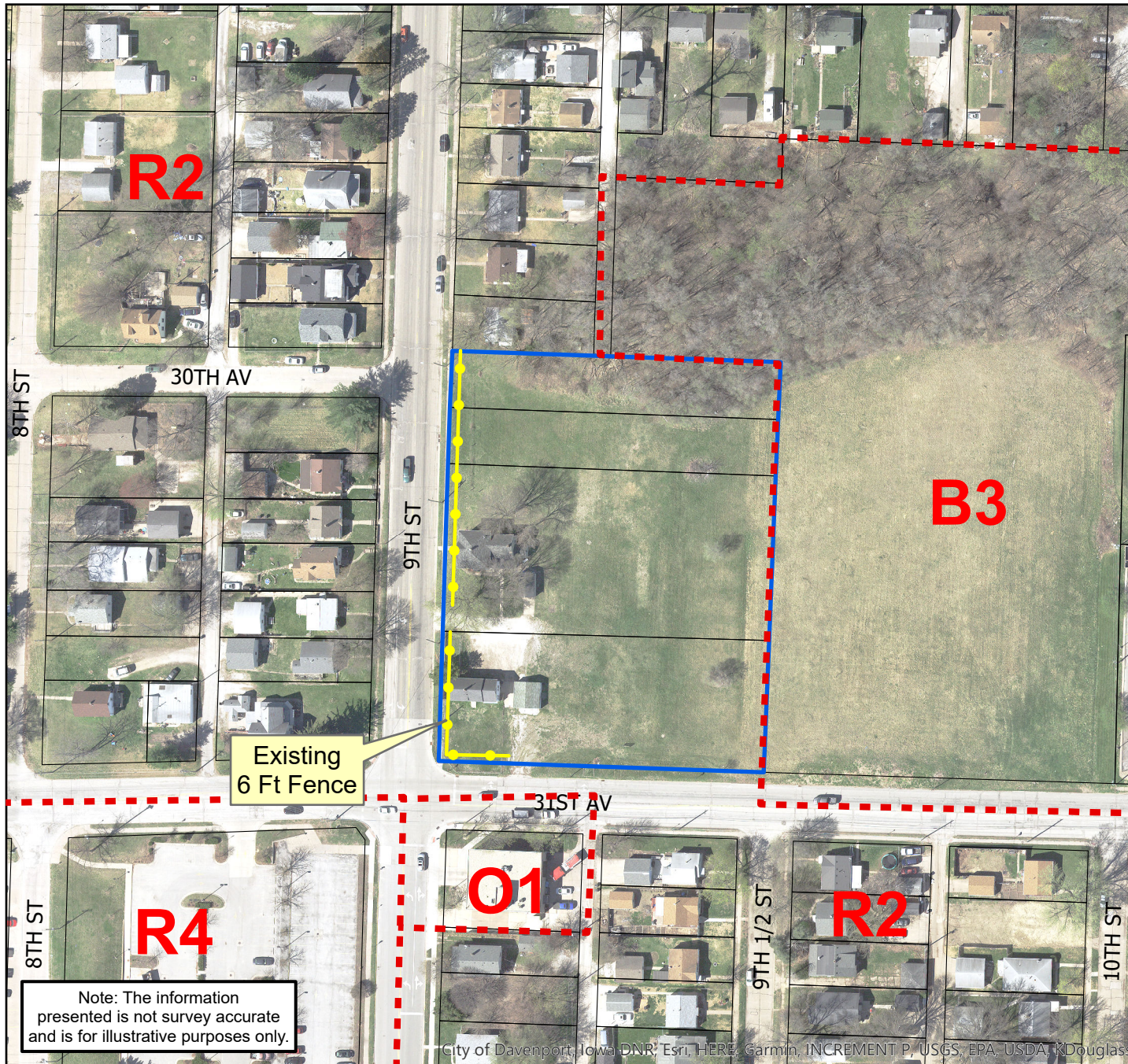
The Community Development Department recommends that the Commission approve the variance for the fence height as there are unique circumstances and the fence will not alter the character of the neighborhood.

Submitted by: Eunice Amissah-Mensah, Urban Planner

---

Approved by:

# PLANNING AND ZONING COMMISSION



## PLANNING & ZONING COMMISSION 2024-7

-  Subject Property
-  Parcels
-  Zoning District Line



0 25 50 100 150 200  
Feet

## City of Rock Island

COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
Planning and Zoning Division





Figure 1: Photo showing fence along 9<sup>th</sup> Street looking south.



Figure 2: Photo showing fence along from 31<sup>st</sup> Avenue looking west.



Figure 3: Photo showing fence visibility.

## Memorandum



**To:** Rock Island Planning & Zoning Commission  
**From:** Eunice Amissah-Mensah, Urban Planner, Tanner Osing, Planning & Zoning Manager  
**Subject:** 2025-02: Public hearing request from Mike Shorter of Amerco Real Estate Company to consider a special exception from the Rock Island Zoning Ordinance in a B-4 (highway business) district for property at 3840 46th Avenue.  
RC Roll Call vote is needed.  
**Date:** January 6, 2025

---

### **Introduction and Background Information:**

#### Applicant:

Mike Shorter on behalf of Amerco Real Estate Company, which provides real estate and development services for U-Haul

#### Location:

3840 46<sup>th</sup> Avenue

#### Size of Property:

The property measures approximately 9.76 acres (425,256 sq.ft) with about 434 feet of frontage along 46<sup>th</sup> Avenue.

#### Topography:

The property slopes downhill from north to south by approximately fifteen (15) feet.

#### Zoning History:

- 2018: The City Council granted a special exception for an authorized use to U-Haul Company for the current self-storage facility.

#### Existing Land Use & Zoning:

The property is zoned B-4 (highway business) district. To the north are properties zoned R-1 (one unit residential) district. To the south, west and east are properties zoned B-4 (highway business) district.

#### Project Details:

The applicant spoke to staff about locating a total of five (5) mini-warehouse/self-storage structures to the east and west of the existing building. This expansion requires a special exception from City's Zoning Ordinance since the existing self-storage business is a legal non-conforming use in the B-4 district.

The site plan shows the units ranging from 1,350 square feet up to 4,213 square feet. The units are designed to be modular boxes that attach to one another to create the structure. Staff

also note that the existing drawings do not show the necessary footings required by building code nor meet the minimum snow load requirement. If the special exception is granted, these items would need to be resolved before permits are issued.

Requested Action and Affected Requirements:

The request is for a special exception from the Zoning Ordinance for the additions at the property as described in Table 1.

Table 1

| Special Exception | Requested Action                                                                                                 | Affected Requirements                                                                                                                                                                                                                                                                  |
|-------------------|------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (1)               | Locate a total of five (5) mini-warehouse/self-storage structures to the east and west of the existing building. | The Zoning Ordinance requires that mini-warehousing/ self-storage be located in industrial zoning districts. With the current use in a B-4 zoning district, a special exception is needed because the mini-warehousing/self-storage facilities will expand a legal non-conforming use. |

Conditions to Authorize Special Exceptions & Staff Analysis:

Special Exceptions shall only be authorized if two (2) of the three (3) conditions as provided in Chapter 8, Section 6-A of the Zoning Ordinance are found. The Commission will make a recommendation to the City Council for this request since the property is business zoned and over 20,000 square feet. Table 2 includes the conditions to authorize special exceptions with the corresponding staff analysis and conclusion of if the condition is met.

Table 2

| Conditions to Authorize Special Exception                                                                                                               | Staff Analysis                                                                                                                                                                                                                                | Meets Condition (Yes/No) |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| 1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; | Staff conclude that the property can yield a reasonable return without special exception. The existing use is performing well based on conversations with U-Haul representatives. The applicant seeks to maximize the return on the property. | No                       |
| 2. The plight of the owner is due to unique circumstances. There are exceptional or                                                                     | Staff reason there are no unique circumstances applying to the property and request. The lot is a standard                                                                                                                                    | No                       |

|                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| extraordinary circumstances or conditions applying to the property in question as to the intended use of the property that do not apply generally to other properties or classes of uses in the same zoning district; and                                                | business zoned property.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |    |
| 3. The variance, if granted, will not alter the essential character of the locality. Such variance is necessary for the preservation and enjoyment of a substantial property right-of-way possessed by other properties in the same zoning district and in the vicinity. | <p>Staff contend that the additions will alter the character of the neighborhood. Mini-warehouse uses are primarily considered industrial uses because they are not economically compatible with other retail/office uses. While the proposed expansion is in an area that would be challenging to develop for another use, it will have a high degree of visibility from Blackhawk Rd and adjacent properties. This may discourage investment in the area for other retail uses.</p> <p>Staff, however, note that the property owner has showed willingness to attract a tenant for an outlot development at the northwest corner of the property (see “Outparcel Memo” and listing agreement).</p> | No |

**Previous Council Action (if any):**

See zoning history section.

**Budget Impact:**

NA

**Additional Information as applicable (i.e. provide alternative options, community or staff input, staffing impact; resident impact; etc.):**

NA

**Council Goal (if applicable):**

NA

**Recommendation:**

The Community Development Department recommends that the Commission pass a recommendation to the City Council to deny the the special exception as it is not needed to yield a reasonable return, there are no unique circumstances, and the additional structures will alter the character of the neighborhood.

If the Commission decides to recommend approval of the request under different findings, staff do not have any additional stipulations to recommend.

Submitted by: Eunice Amissah-Mensah, Urban Planner

---

Approved by:



Figure 1: Photo showing area east of the building where the storage units are proposed to be located.



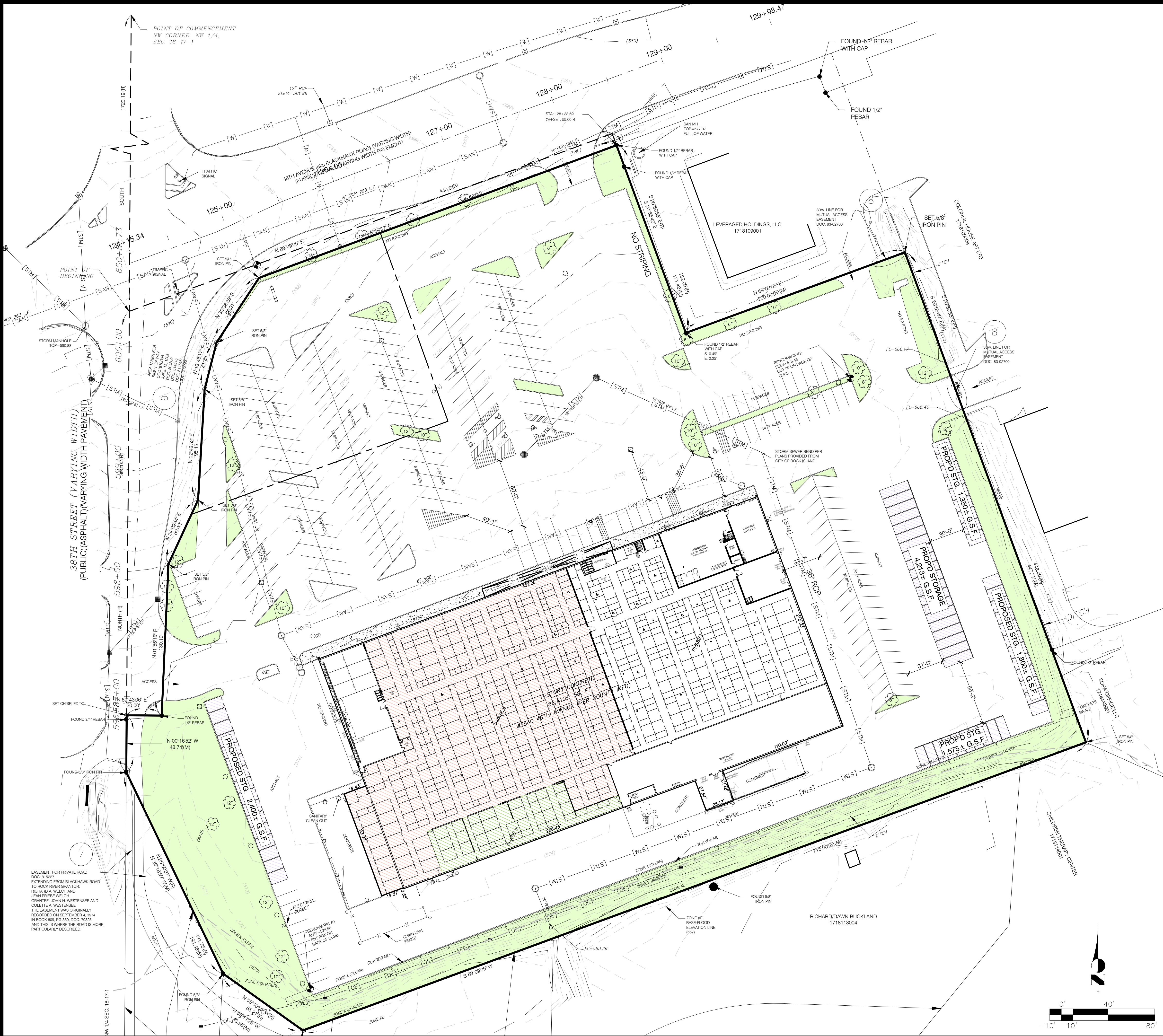
Figure 2: Photo showing area east of the building where the storage units are proposed to be located.



Figure 3: Photo provided by U-Haul showing an example of the storage units.



Figure 4: Another photo provided by U-Haul showing an example of the proposed storage units.



SITE PLAN



SITE

SCALE: NTS

Project Name: U-Haul Moving & storage of Rock Island  
Municipality: Rock Island  
Project Address: 3840 46th Ave  
Parcel No. / Acre / Area: 1025-4/ 9.2 acres / 401,203 sf  
Zone: B-4 Highway Intensive Business District  
Uses: Custom rental – Permitted (B-2)  
Miniwarehousing – Permitted w/ B of Z Appeal Approval  
Retail – Permitted (B-1)

B-4 any use permitted in B-3  
B-3 any use permitted in B-2 except dwelling  
B-2 any use permitted in B-1 allowing for retail establishments with greater than 2,500 sf  
B-4 When Authorized by Board of Zoning appeal  
Miniwarehousing with structure at least 100' from residential zoning private property

Setbacks (Principal structures); Required  
Front lot line 20ft; unless adjacent to R zone – setback to match  
Side lot line 0ft; unless adjacent to R zone – setback to match  
Rear lot line 10ft

Height Limit: 45'

Parking:

Retail = 3,123 sf  
(5sp/ 1,000 sf GFA and 1 for every 2 employees on a maximum shift)  
Total Retail Spaces = 18 Spaces

Warehouse = 3,946 sf  
2sp/ 1,000 SF for the first 10,000sf, plus 1sp/2,000 sf for remaining  
Total Warehouse Spaces = 8 Spaces

Total Parking Spaces Required = 26 Spaces  
Total Parking Spaces Provided = 265 Spaces

Existing Building = 86,810 sf

| PROPOSED MIX |                   |         |      |               |         |      |                |         |      |       |         |      |
|--------------|-------------------|---------|------|---------------|---------|------|----------------|---------|------|-------|---------|------|
| LOCKER SIZE  | NON CLIMATE - 35% |         |      | CLIMATE - 65% |         |      | EXTERIOR MINIS |         |      | TOTAL |         |      |
|              | PHI               | SQ. FT. | %    | PHI II        | SQ. FT. | %    | QTY.           | SQ. FT. | %    |       | SQ. FT. | %    |
| 5 x 5        | 37                | 925     | 5%   | 92            | 1,300   | 5%   | 1              | 25      | 1%   | 0     | 0       | 4%   |
| 5 x 7        | 2                 | 70      | 0%   | 1             | 35      | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 5 x 8        | 0                 | 0       | 0%   | 4             | 160     | 1%   | 1              | 40      | 1%   | 0     | 0       | 0%   |
| 5 x 9        | 0                 | 0       | 0%   | 0             | 0       | 0%   | 1              | 45      | 1%   | 0     | 0       | 0%   |
| 5 x 10       | 84                | 4,200   | 24%  | 134           | 6,700   | 25%  | 0              | 400     | 13%  | 0     | 0       | 0%   |
| 5 x 13       | 0                 | 0       | 0%   | 1             | 65      | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 5 x 15       | 0                 | 0       | 0%   | 1             | 75      | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 7 x 10       | 14                | 980     | 6%   | 1             | 70      | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 8 x 8        | 0                 | 0       | 0%   | 0             | 0       | 0%   | 1              | 64      | 2%   | 0     | 0       | 0%   |
| 8 x 10       | 0                 | 0       | 0%   | 17            | 1,360   | 5%   | 5              | 400     | 13%  | 0     | 0       | 0%   |
| 8 x 12       | 0                 | 0       | 0%   | 0             | 0       | 0%   | 1              | 96      | 3%   | 0     | 0       | 0%   |
| 8 x 14       | 0                 | 0       | 0%   | 0             | 0       | 0%   | 1              | 112     | 4%   | 0     | 0       | 0%   |
| 9 x 13       | 0                 | 0       | 0%   | 1             | 117     | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 10 x 10      | 72                | 7,200   | 42%  | 113           | 11,300  | 43%  | 11             | 1,100   | 36%  | 0     | 0       | 0%   |
| 10 x 12      | 0                 | 0       | 0%   | 0             | 0       | 0%   | 2              | 480     | 16%  | 0     | 0       | 0%   |
| 10 x 13      | 0                 | 0       | 0%   | 3             | 360     | 1%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 10 x 14      | 0                 | 0       | 0%   | 1             | 140     | 1%   | 2              | 280     | 9%   | 0     | 0       | 0%   |
| 10 x 15      | 16                | 2,400   | 14%  | 30            | 4,500   | 17%  | 0              | 0       | 0%   | 37    | 5,550   | 22%  |
| 12 x 39      | 2                 | 936     | 5%   | 0             | 0       | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| 13 x 39      | 1                 | 507     | 3%   | 0             | 0       | 0%   | 0              | 0       | 0%   | 0     | 0       | 0%   |
| TT VAN       | 0                 | 0       | 0%   | 0             | 0       | 0%   | 0              | 0       | 0%   | 10    | 1,496   | 3%   |
| JH VAN       | 0                 | 0       | 0%   | 0             | 0       | 0%   | 0              | 0       | 0%   | 20    | 3,988   | 7%   |
| TOTAL        | 228               | 17,218  | 100% | 359           | 26,212  | 100% | 36             | 3,942   | 100% | 67    | 11,034  | 100% |

6 ADA LOCKERS REQUIRED

U-BOX AREA = 7,314± S.F.  
TOTAL U-BOXES = 108 (2-HIGH)

SITE DATA

| REVISIONS:                                                                                          |            |          |                                     |
|-----------------------------------------------------------------------------------------------------|------------|----------|-------------------------------------|
| NO.                                                                                                 | DATE       | INITIALS | NOTES                               |
| 9                                                                                                   | 10/05/22   | BLC      | PHASE 3 REV'S PER FIELD MARKUPS     |
| 10                                                                                                  | 09/07/23   | AS       | ADD PROPOSED MINIS                  |
| 11                                                                                                  | 09/14/23   | NH       | ADD PROPOSED VAN BOXES              |
| 12                                                                                                  | 07/24/24   | NH       | UPDATE PROPOSED SUSTAINABLE STORAGE |
| 13                                                                                                  |            |          |                                     |
| 14                                                                                                  |            |          |                                     |
| 15                                                                                                  |            |          |                                     |
| 16                                                                                                  |            |          |                                     |
| REVISIONS:                                                                                          |            |          |                                     |
| NO.                                                                                                 | DATE       | INITIALS | NOTES                               |
| 1                                                                                                   | 10/8/18    | BDC      | PARKING REV'S                       |
| 2                                                                                                   | 10/18/18   | BDC      | INTERIOR LOAD REV'S                 |
| 3                                                                                                   | 11/2/18    | BDC      | S/R COUNTER & STG REV'S             |
| 4                                                                                                   | 11/30/18   | BDC      | ADA LOCKERS                         |
| 5                                                                                                   | 02/05/19   | GM       | SMALL DOOR CHANGES PER R.B.         |
| 6                                                                                                   | 04/23/19   | BDC      | LOCKER UPDATES                      |
| 7                                                                                                   | 01/30/20   | BDC      | PHASE II STORAGE UPDATES            |
| 8                                                                                                   | 04/07/20   | BDC      | UPDATED STG AS-BUILTS               |
| PROFESSIONAL SEAL:                                                                                  |            |          |                                     |
| <div>PRELIMINARY DOCUMENTS,<br/>NOT FOR CONSTRUCTION,<br/>FOR INFORMATION ONLY</div>                |            |          |                                     |
|                                                                                                     |            |          |                                     |
| ARCHITECT LOGO:                                                                                     |            |          |                                     |
| <div>AMERCO.<br/>REAL ESTATE COMPANY</div>                                                          |            |          |                                     |
| CONSTRUCTION DEPARTMENT<br>2727 NORTH CENTRAL AVENUE<br>PHOENIX, ARIZONA 85004<br>P: (602) 263-6502 |            |          |                                     |
| SITE ADDRESS:<br>U-HAUL OF ROCK ISLAND<br>3840 46TH AVE<br>ROCK ISLAND, IL 61201                    |            |          |                                     |
| SHEET CONTENTS:<br>PRELIMINARY<br>SITE PLAN                                                         |            |          |                                     |
| 932072                                                                                              |            |          |                                     |
| DRAWN:                                                                                              | BDC/AS     |          |                                     |
| CHECKED:                                                                                            | NH         |          |                                     |
| DATE:                                                                                               | 12/04/2018 |          |                                     |
| 932072A1S                                                                                           |            |          |                                     |
| SP1                                                                                                 |            |          |                                     |

# KBM INC.

## Relocatable Modular Buildings

### GENERAL NOTES

BUILDING PLANS HAVE BEEN DESIGNED TO MEET  
DESIGN CODE: 2015 INTERNATIONAL BUILDING CODE

BUILDING CATAGORY: II  
BUILDING USE GROUP: S-1

DESIGN LOADING DATA:  
DEAD LOAD: 2.5 psf  
ROOF LIVE LOAD: 20 psf, NO REDUCTION ALLOWED  
COLLATERAL LOAD: 1 psf  
GROUND SNOW LOAD, Pg: 20 psf  
DESIGN ROOF SNOW LOAD, Pf: 16.80 psf (SLOPED)  
THERMAL R VALUE= 0  
THERMAL COEFFICENT, Ct= 1.2  
SNOW EXPOSURE FACTOR: 1.00  
SNOW IMPORTANCE FACTOR: 1.00  
WIND SPEED: 115 M.P.H.  
WIND IMPORTANCE FACTOR, lw: 1.00  
WIND EXPOSURE CATEGORY: C  
RISK CATEGORY II  
ROOF UPLIFT 30.49 PSF, WALL HORIZONTAL 25.4 PSF.  
SEISMIC DESIGN CATEGORY= C Ie=1.00  
SEISMIC DESIGN SYSTEM  
Ss = 0.1310g,  
S1 = 0.0600g,  
Sds = 0.1397g,  
Sd1 = 0.0960g  
V = 0.039 X WEIGHT OF STRUCTURE.  
EQUIVALANT LATERAL FORCE METHOD USED  
CONSTRUCTION TYPE IIB NON-COMBUSTIBLE.  
OCCUPANT GROUP S-1,  
ALLOWABLE AREA 17,500 S.F.,  
MAXIMUM HEIGHT 55 FEET.

NO ELECTRIC OR PLUMBING WILL BE PROVIDED  
TO MODULAR STORAGE UNITS

MAXIMUM STUD SPACING  
60" O.C. @ SIDEWALLS  
120" O.C. @ ENDWALLS

WALL SHEETING  
1 1/4" X 26 GA. PANEL WITH RIB SPACING @ 12" O.C.

MINIMUM STUD,SUPPORT, AND TRACK THICKNESS : 18 GA.  
REFER TO DETAIL SHEET D1 FOR CONNECTIONS

### Cold-Formed Metal Framing

Design, fabrication and erection shall conform to AISI "Cold-Formed Steel Design Manual", latest edition (or addenda).

All 12, 14, or 16 gage members shall be formed from steel that corresponds to the minimum requirements of ASTM A570 Grade 55 or ASTM A653 Grade 50 with a minimum yield strength of 57,000 psi.

Unless noted otherwise, all 18, 20, 22 or 25 gage studs and joists shall be formed from steel that corresponds to the minimum requirements of ASTM A653, SQ Grade 33 with a minimum yield strength of 33,000 psi, or ASTM A570 Grade 33 (or higher) with a minimum yield strength of 33,000 psi.

All light gage track, bridging, angle and other miscellaneous shapes and accessories shall be formed from steel that corresponds to the minimum requirements of ASTM A653, SQ Grade 33 with a minimum yield strength of 33,000 psi, or ASTM A570 Grade 33 (or higher) with a minimum yield strength of 33,000 psi.

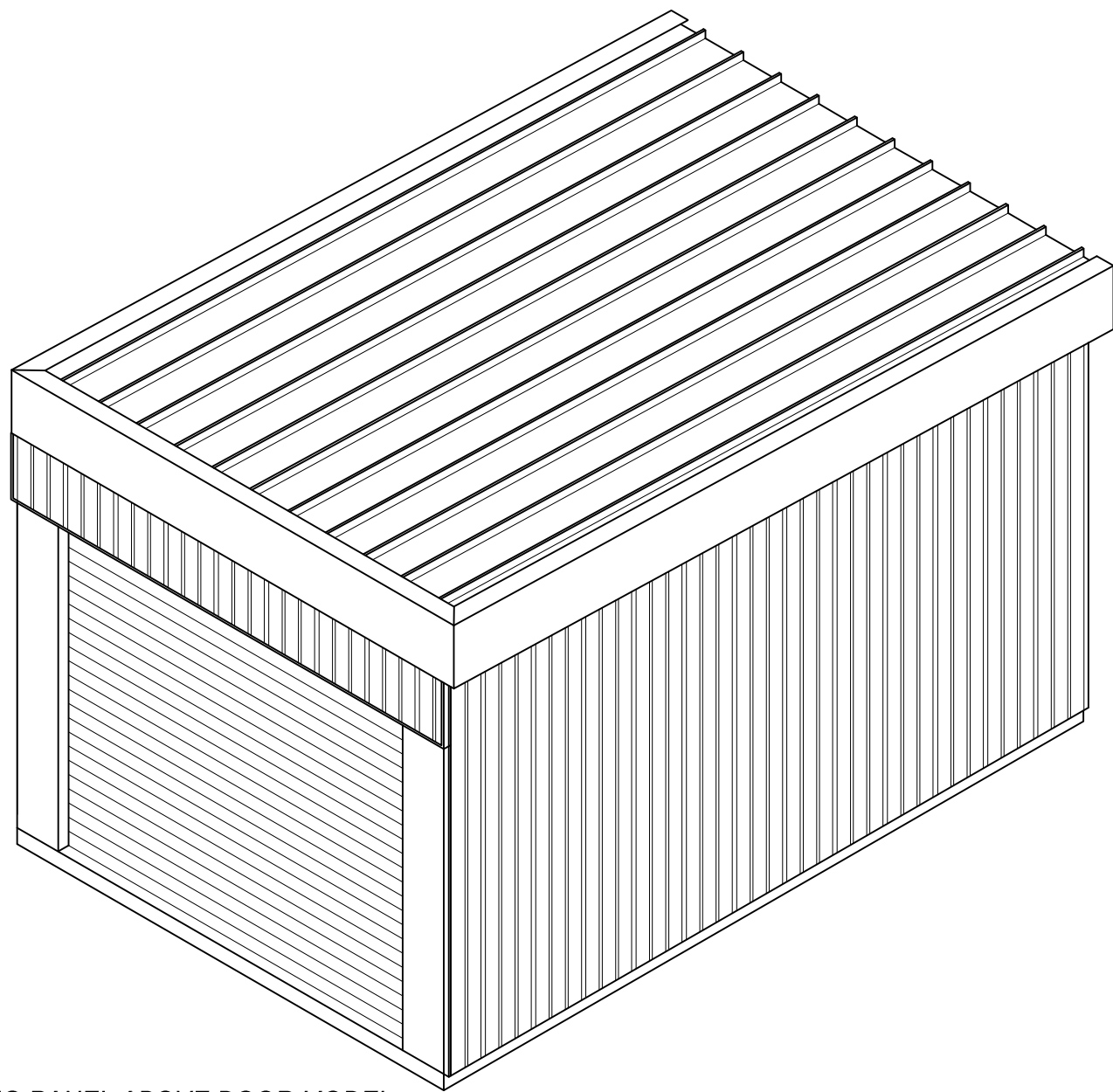
All galvanized studs, joist, track, bridging, angle and other miscellaneous shapes and accessories shall be formed from steel having a G-60 galvanized coating meeting the requirements of ASTM A525. Non-galvanized members shall have a shop applied primer coat.

### DRAWING SHEET INDEX

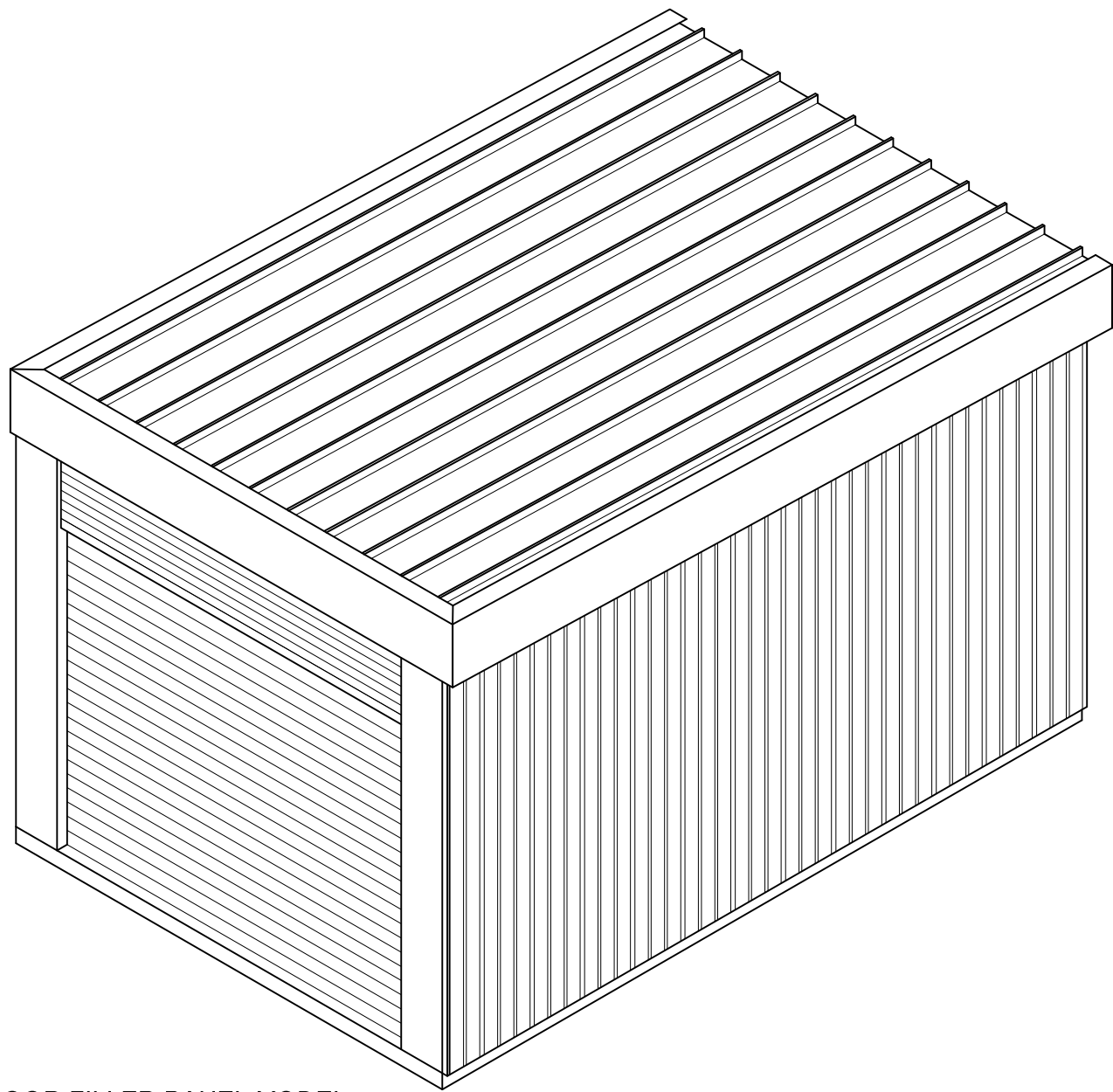
|    |                                                 |
|----|-------------------------------------------------|
| S1 | GENERAL NOTES SHEET                             |
| S2 | 10'-0" WIDE X 10'-0" DEEP BUILDING LAYOUT PLANS |
| S3 | 10'-0" WIDE X 10'-0" FRAMING ELEVATIONS         |
| S4 | 10'-0" WIDE X 10'-0" EXTERIOR ELEVATIONS        |
| S5 | 10'-0" WIDE X 15'-0" DEEP BUILDING LAYOUT PLANS |
| S6 | 10'-0" WIDE X 15'-0" SECTION & ELEVATIONS       |
| S7 | 10'-0" WIDE X 20'-0" DEEP BUILDING LAYOUT PLANS |
| S8 | 10'-0" WIDE X 20'-0" SECTION & ELEVATIONS       |
|    |                                                 |
| D1 | BUILDING DETAILS                                |
| D2 | FAB DETAILS                                     |

### RELOCATABLE MODULAR BUILDING DESIGN SET SITE ORDER

37 @10'-0" X 15'-0" BUILDINGS  
36 @10'-0" X 20'-0" BUILDINGS



SIDING PANEL ABOVE DOOR MODEL



DOOR FILLER PANEL MODEL

#### SITE PREPARATION:

SITE SHOULD BE LEVEL

THE FOLLOWING ARE SITE RECOMMENDATIONS, DECISION IS UP TO U-HAUL

CONCRETE SLAB  
ASPHALT  
COMPACTED ROAD BASE MATERIAL

THE FOLLOWING ARE NOT RECOMMENDED  
GRASS OR ORGANIC MATERIALS  
SOIL, MUCK, OR SAND

#### LEVELING:

LEVELING MATERIALS RECOMMENDED  
THE FOLLOWING ARE RECOMMENDATIONS, DECISION IS UP TO U-HAUL  
6X6 PRESSURE TREATED POST  
SOLID CONCRETE BLOCKS  
POURED CONCRETE FOOTING PADS  
CREOSOTE TIMBER

LEVELING MATERIALS NOT RECOMMENDED  
SOFT WOODS (UNTREATED PINE)



Robert V. Nangia P.E.  
7422 Hollow Ridge Drive  
Houston, Texas 77095

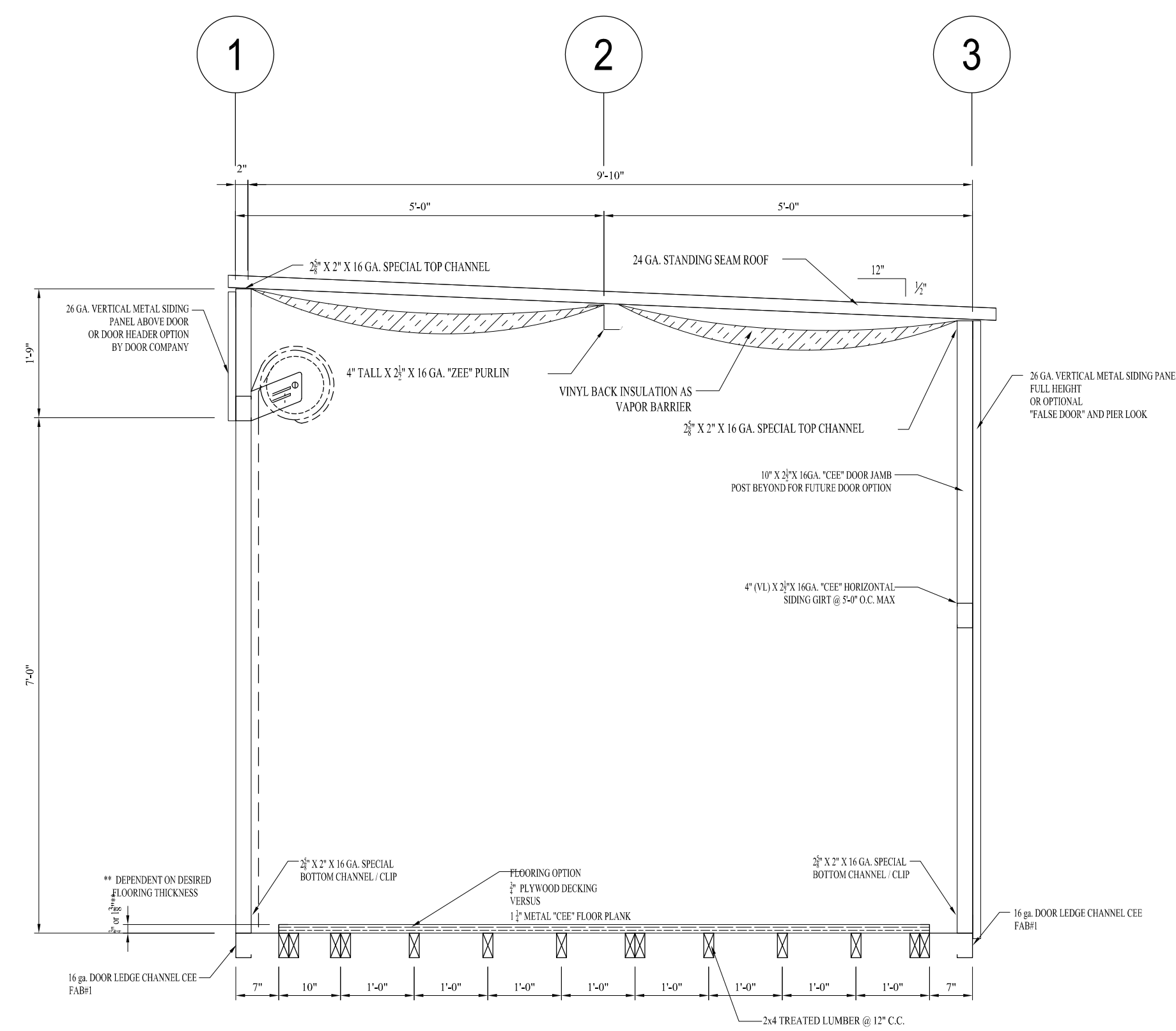
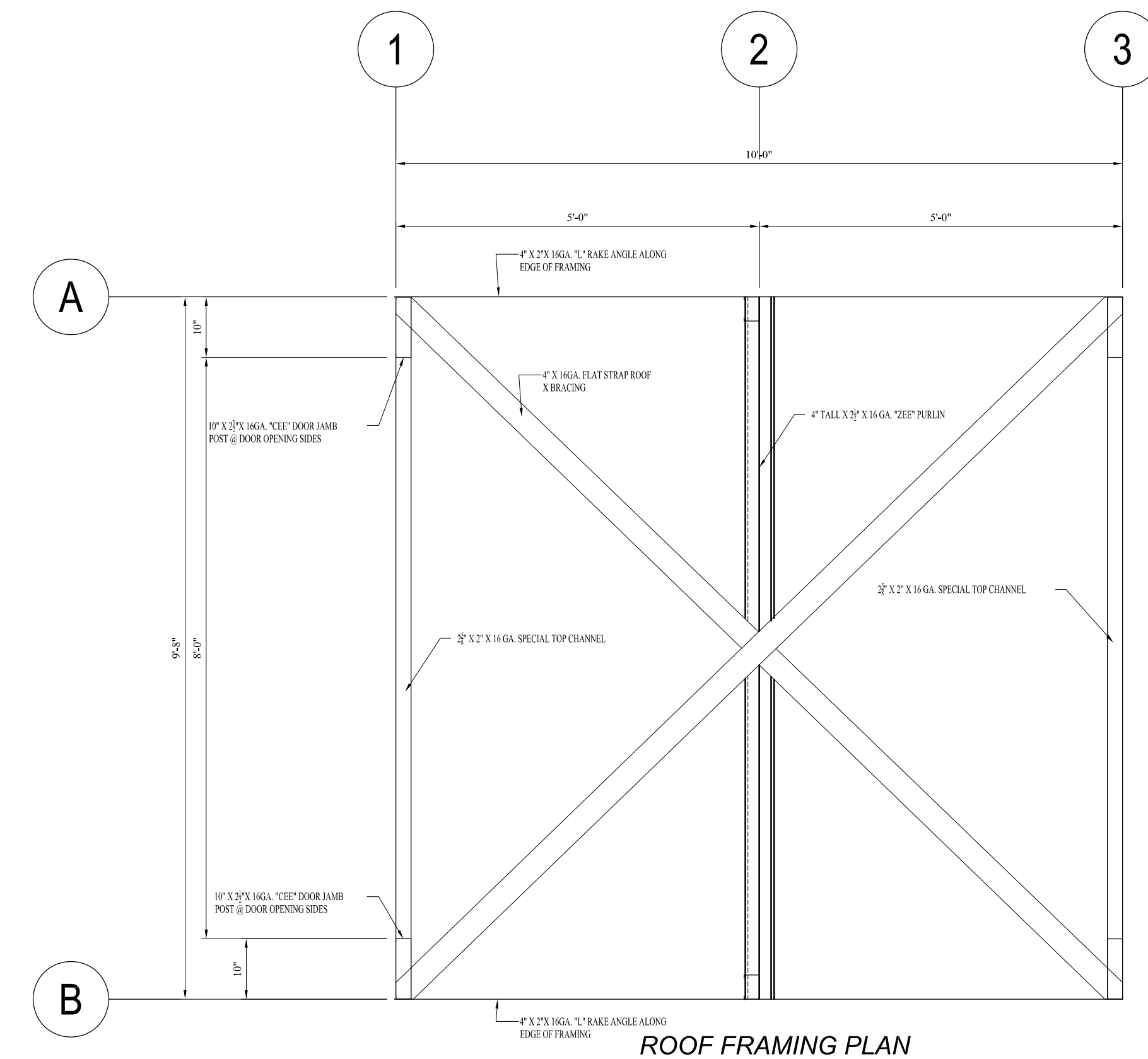
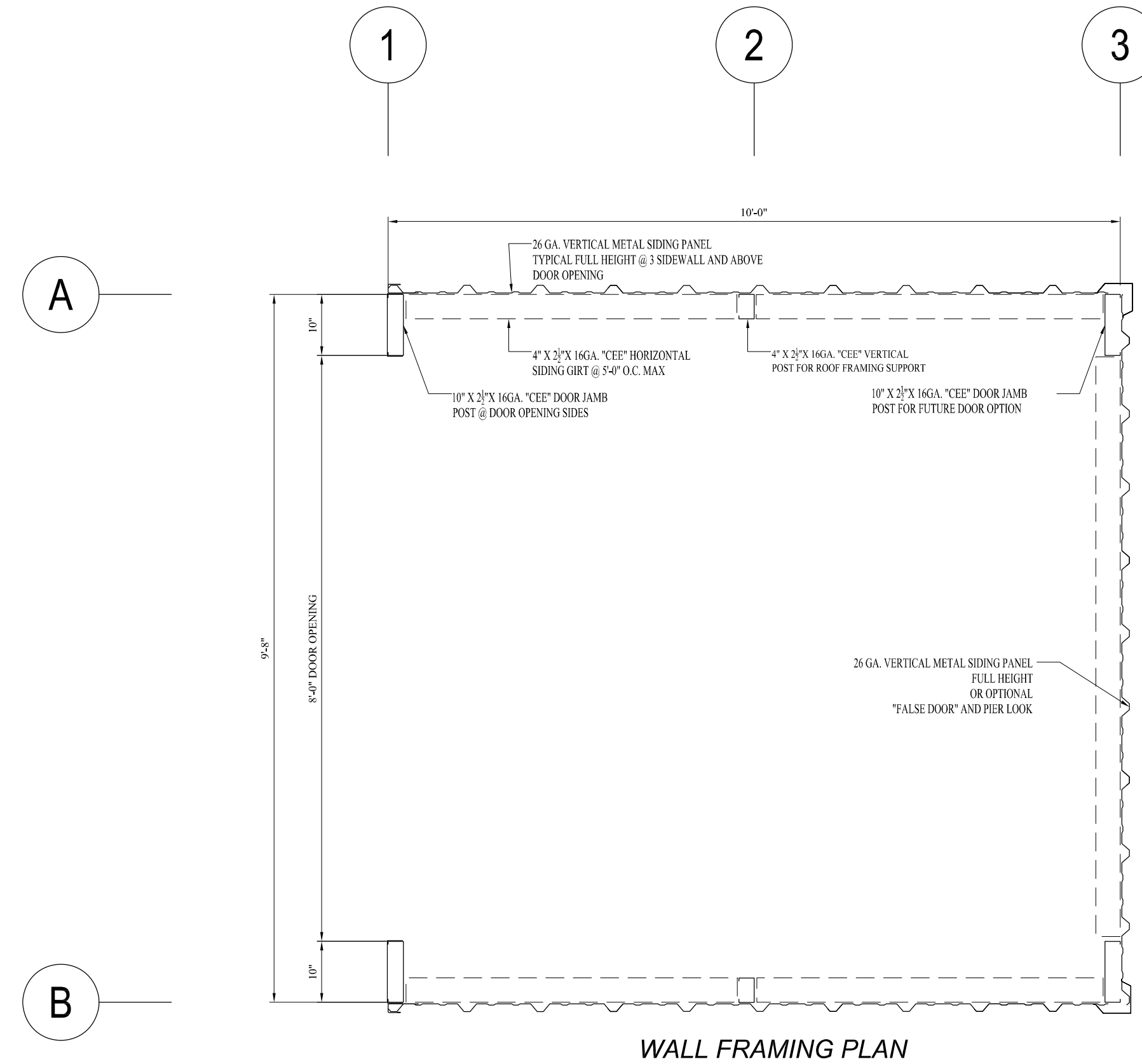
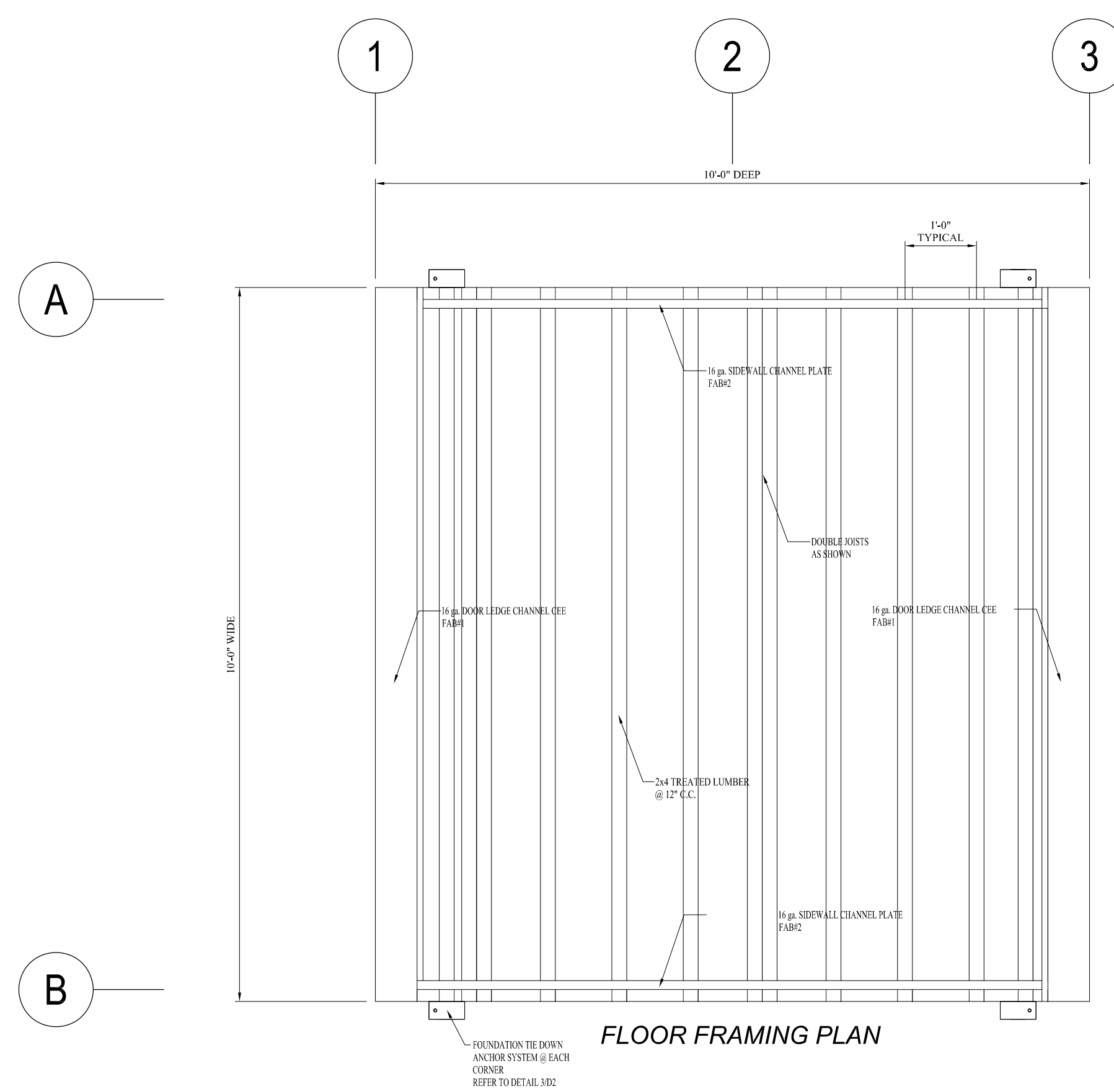
| JOB PROGRESS |  | DESCRIPTION |  | BY |  | NO. |  | DATE |  |
|--------------|--|-------------|--|----|--|-----|--|------|--|
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |
|              |  |             |  |    |  |     |  |      |  |

**KBM, INC.**  
**Steel Construction**  
Steel Building Products & Installation Services  
Self Storage  
P.O. BOX 2301 / ASTON, PA 19014  
PH (610) 565-4368  
FAX (610) 565-4840

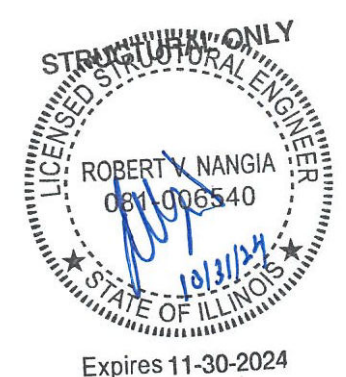
PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION  
CONFIDENTIAL: THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION, OR  
DISSEMINATION OF THIS  
INFORMATION IS PROHIBITED.  
SHEET SIZE: 24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE #932072

|                    |
|--------------------|
| DRAWN<br>KBM       |
| DATE<br>10/23/2024 |
| SCALE              |
| PER PLAN<br>SHEET  |
| S1                 |
| OF SHEETS          |



### RELOCATABLE MODULAR 10'-0" WIDE X 10'-0" DEEP BUILDING LAYOUT PLAN



| JOB PROGRESS |  |  |     | BY | NO. | DATE | DESCRIPTION | BY |
|--------------|--|--|-----|----|-----|------|-------------|----|
| 1            |  |  | SPR |    | 7   |      |             |    |
| 2            |  |  | SPR |    | 8   |      |             |    |
| 3            |  |  |     |    | 9   |      |             |    |
| 4            |  |  |     |    | 10  |      |             |    |
| 5            |  |  |     |    | 11  |      |             |    |
| 6            |  |  |     |    | 12  |      |             |    |



**KBM, INC.**  
**Steel Construction**

**Steel Building Products & Installation Services**  
**Self Storage**

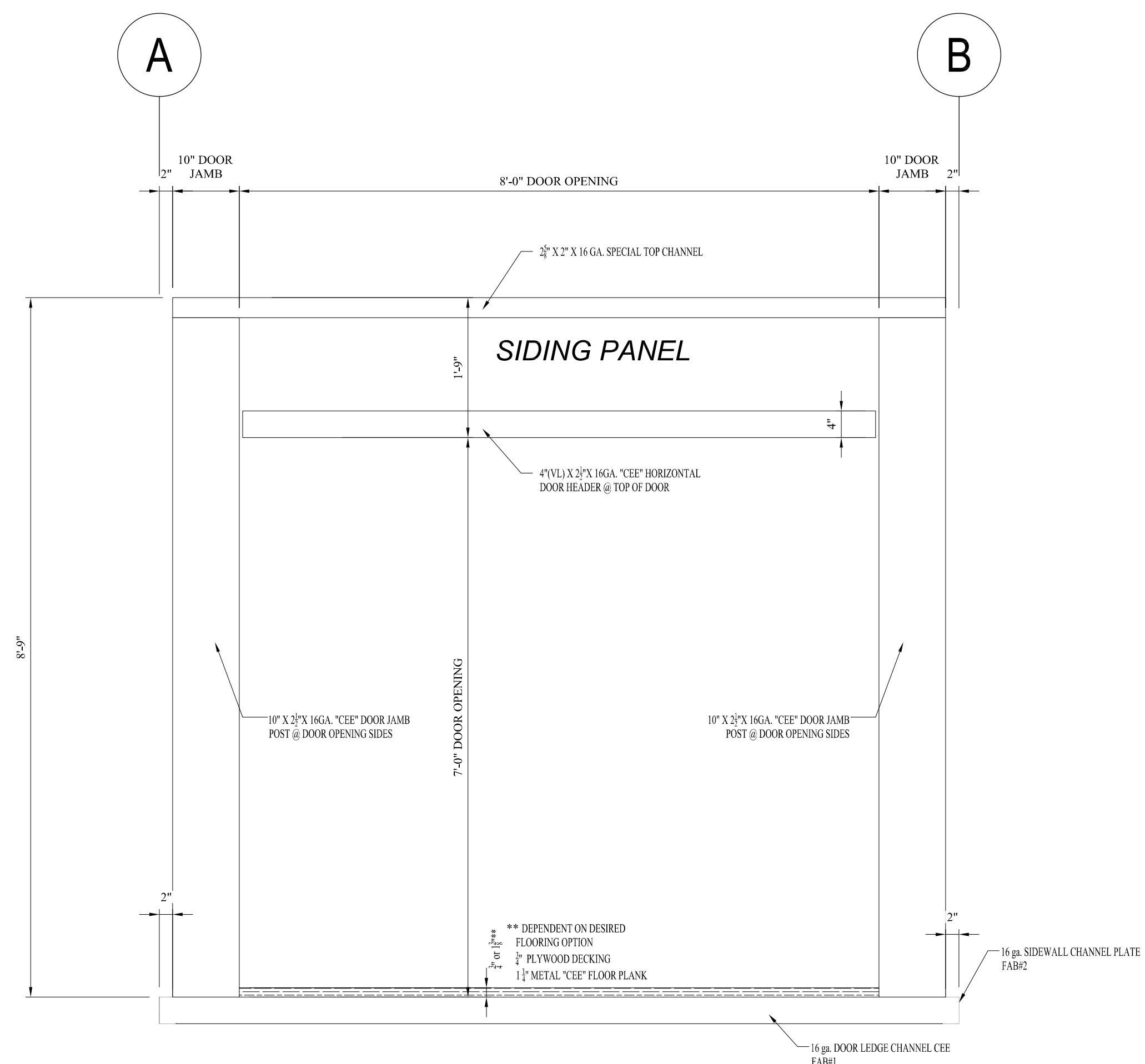
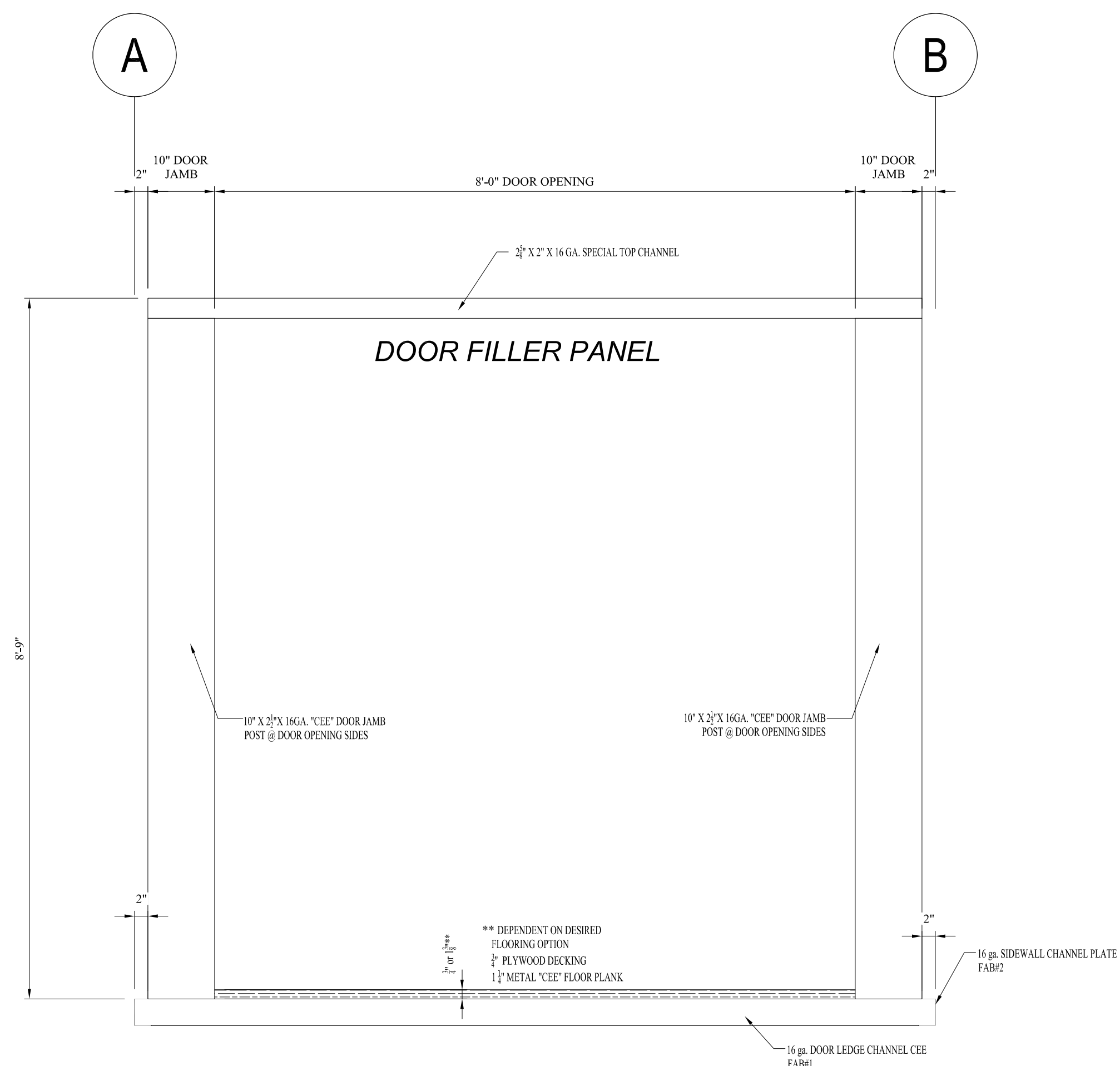
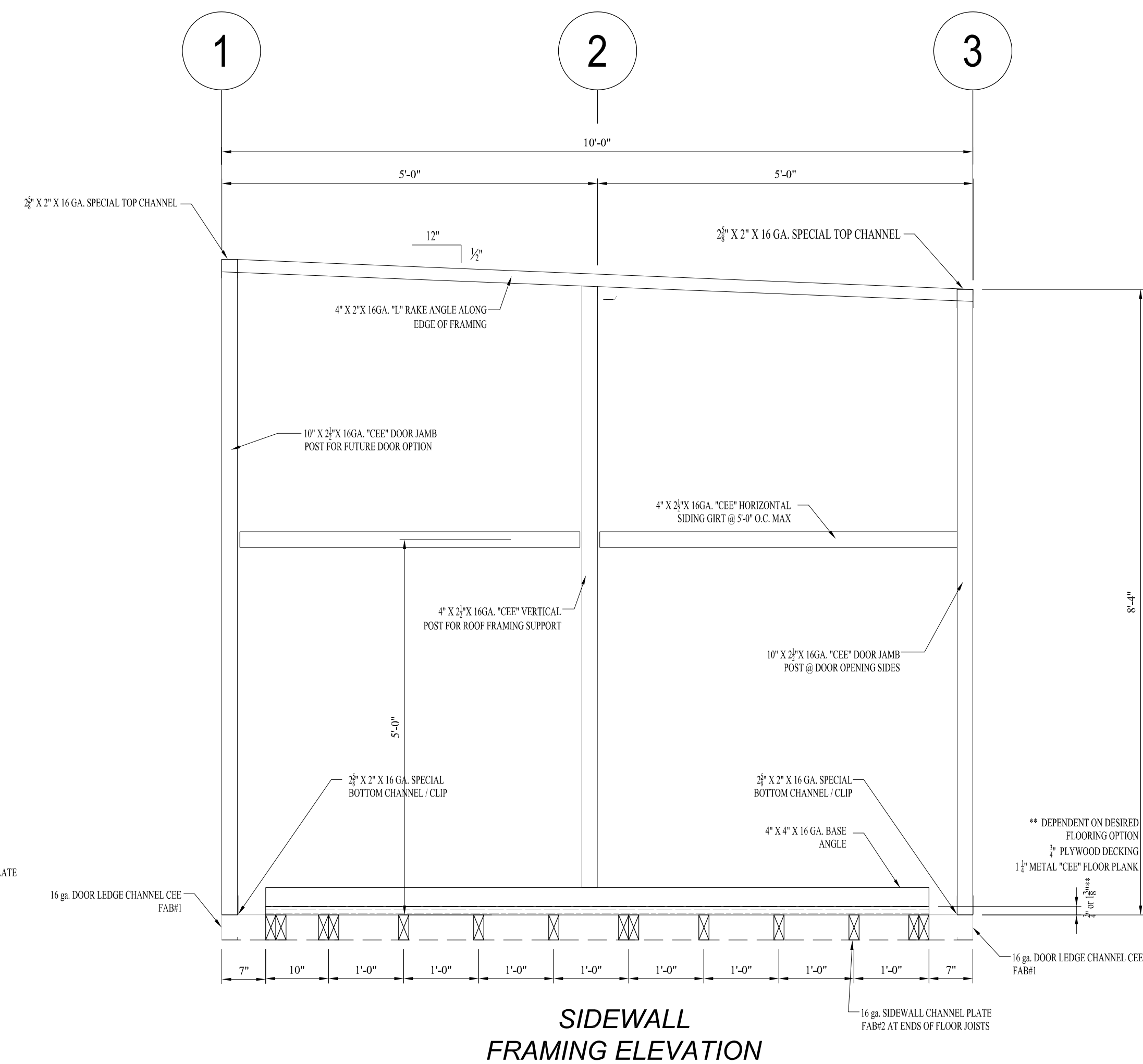
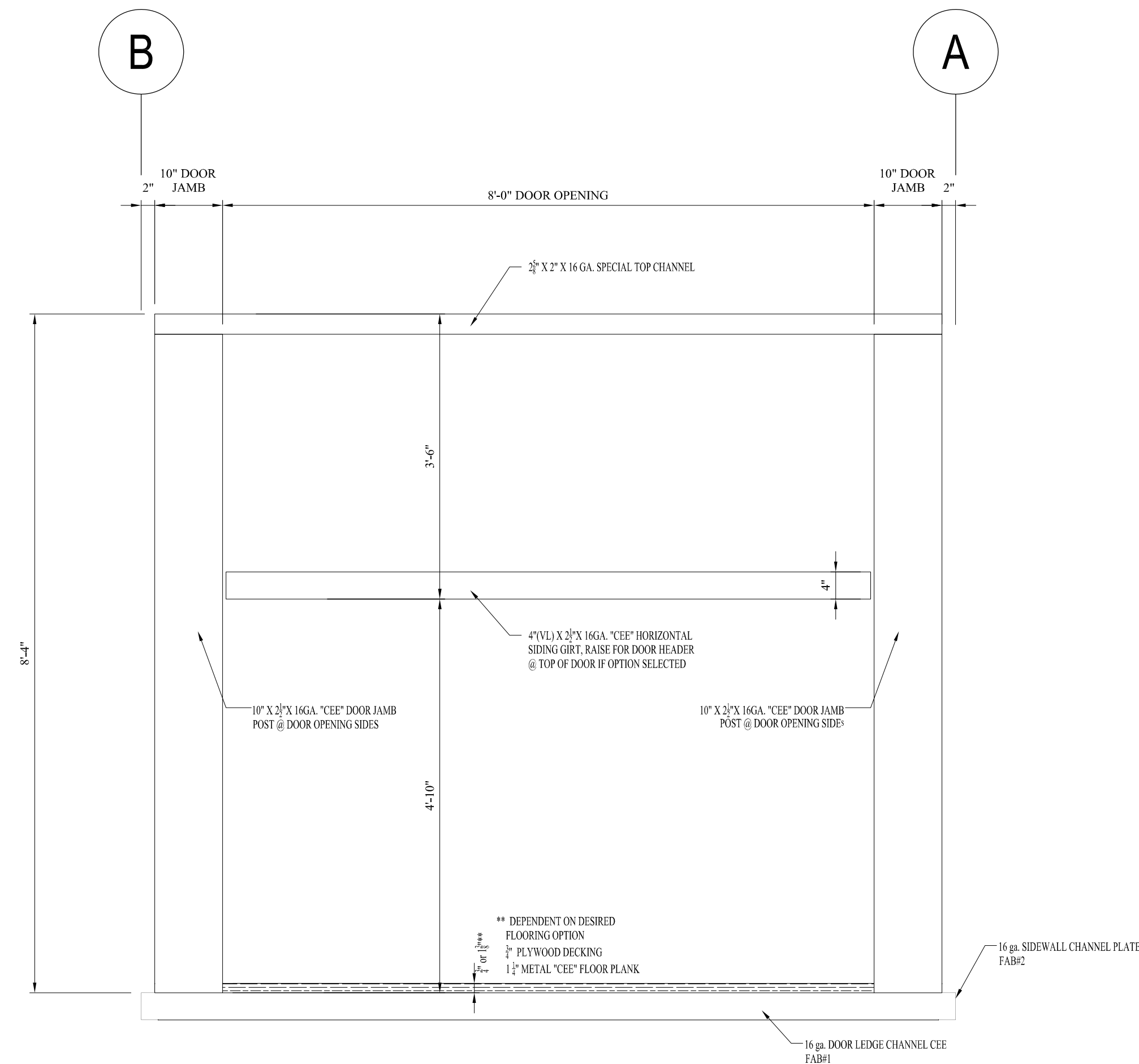
**P.O. BOX 2301 • ASTON, PA. 19014**  
**PH (610) 909-4668**  
**FAX (610) 565-4340**

PROPERTY OF:  
KBM Inc.  
STEEL CONSTRUCTION

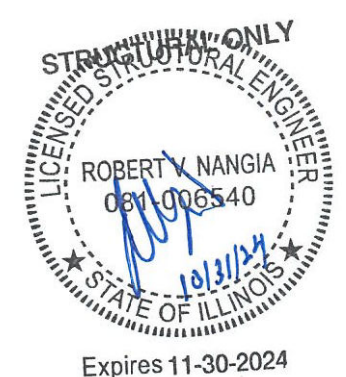
CONFIDENTIAL: THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM Inc.  
UNAUTHORIZED COPYING,  
DISCLOSURE OR OTHER  
UNAUTHORIZED USES ARE PROHIBITED.  
SHEET SIZE:24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE#932072

|                    |
|--------------------|
| DRAWN              |
| DATE<br>10/23/2024 |
| SCALE              |
| PER PLAN<br>SHEET  |
| S2                 |
| OF SHEETS          |



## RELOCATABLE MODULAR 10'-0" WIDE X 10'-0" DEEP BUILDING ELEVATIONS



| JOB PROGRESS |      |             |     |     |      |             |    |
|--------------|------|-------------|-----|-----|------|-------------|----|
| NO.          | DATE | DESCRIPTION | BY  | NO. | DATE | DESCRIPTION | BY |
| 1            |      |             | SFP | 7   |      |             |    |
| 2            |      |             | SFP | 8   |      |             |    |
| 3            |      |             |     | 9   |      |             |    |
| 4            |      |             |     | 10  |      |             |    |
| 5            |      |             |     | 11  |      |             |    |
| 6            |      |             |     | 12  |      |             |    |



**KBM, INC.**  
**Steel Construction**

**Steel Building Products & Installation Services**  
**Self Storage**

P.O. BOX 2301 • ASTON, PA. 19014  
PH (610) 909-4683  
FAX (610) 565-4940

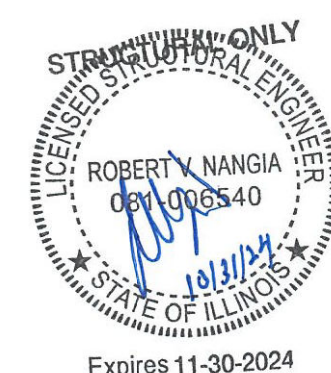
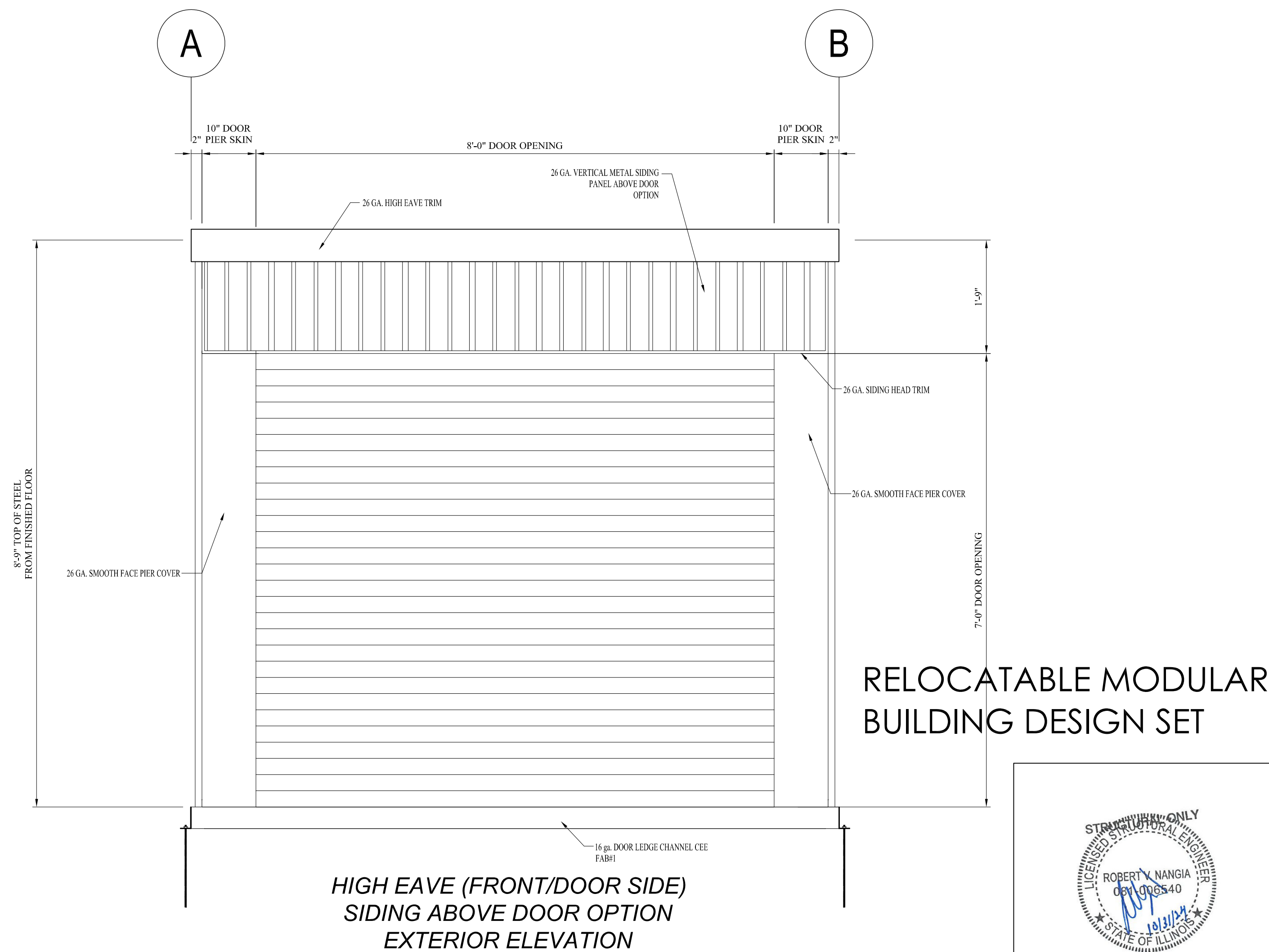
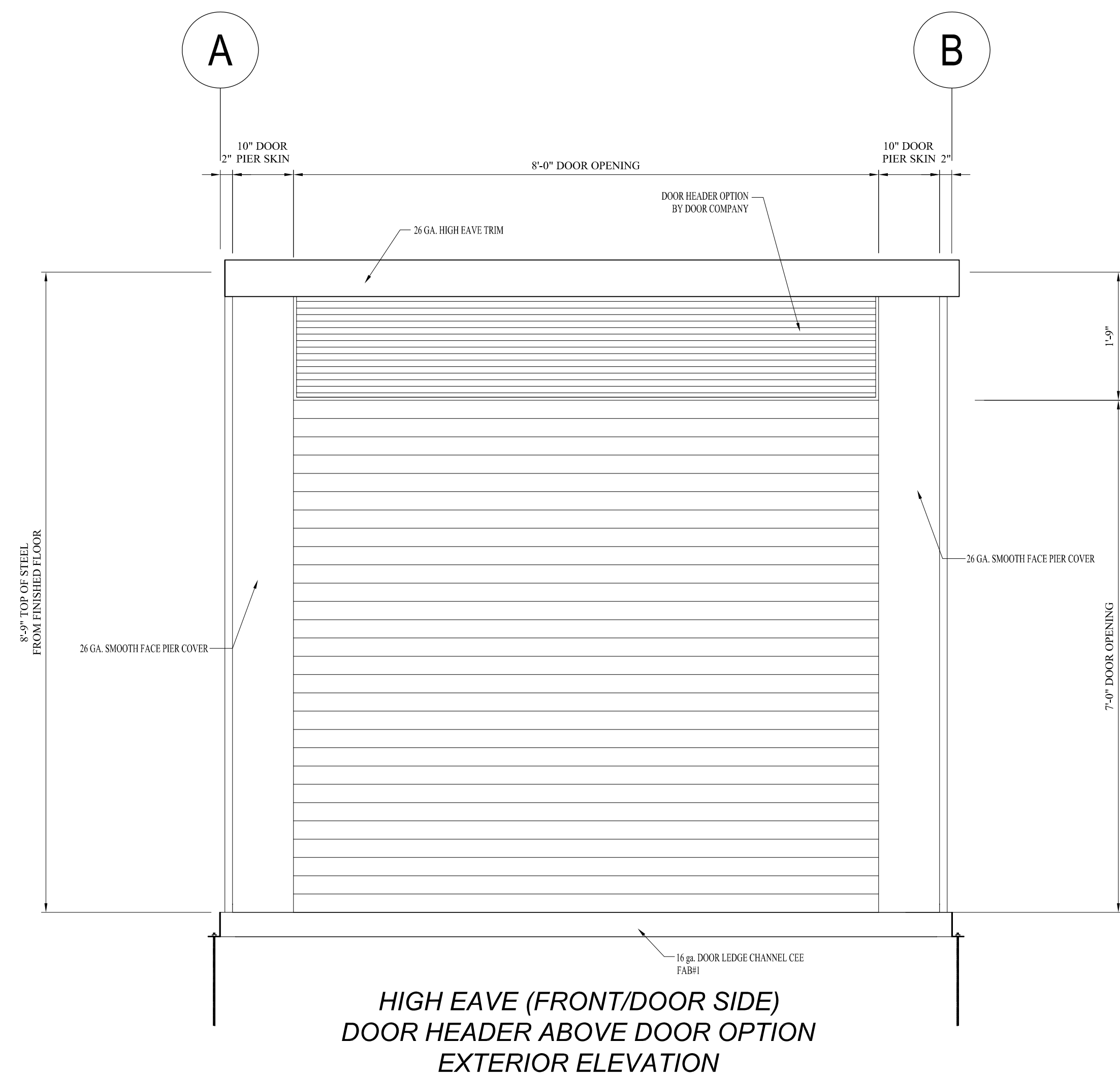
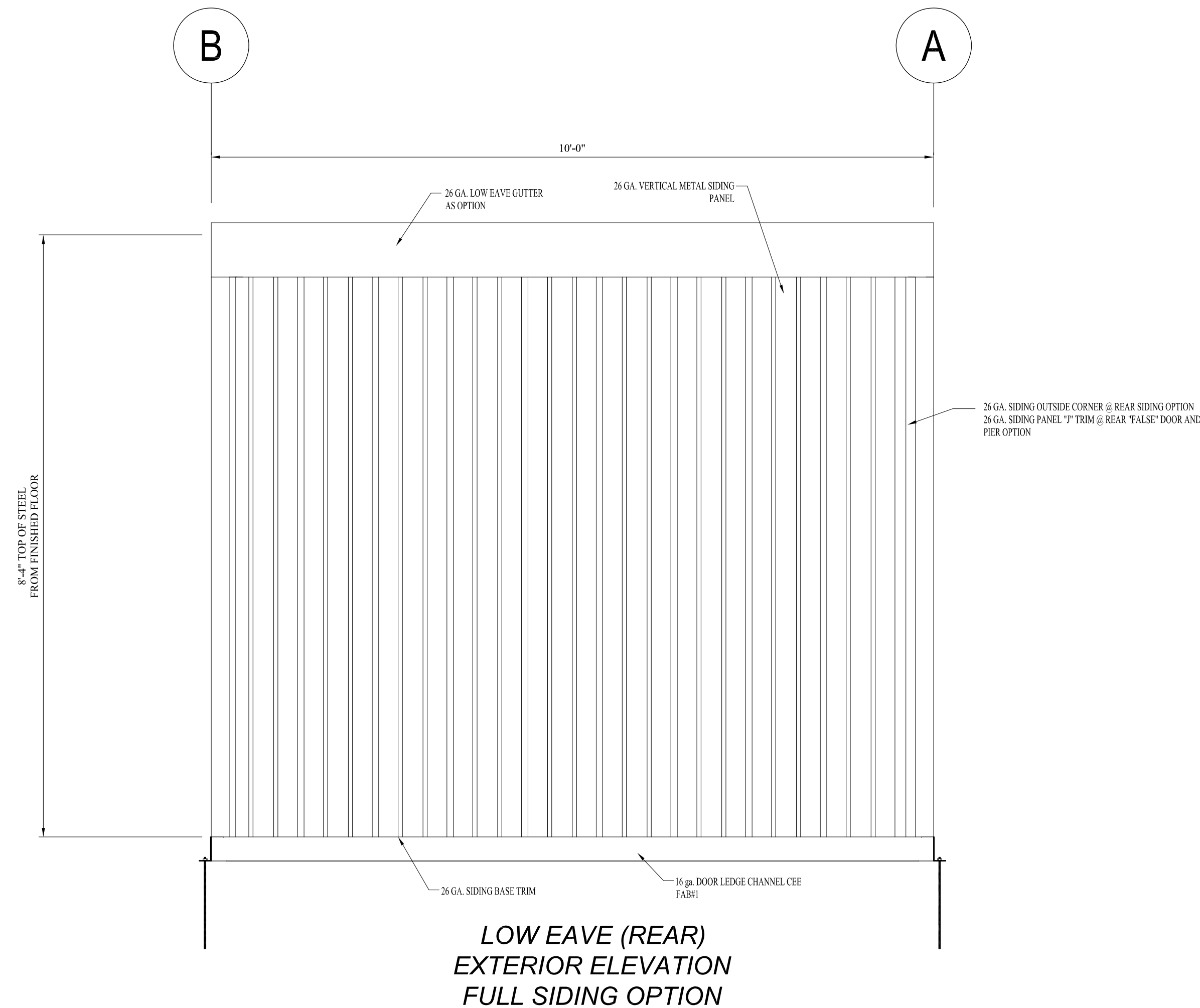
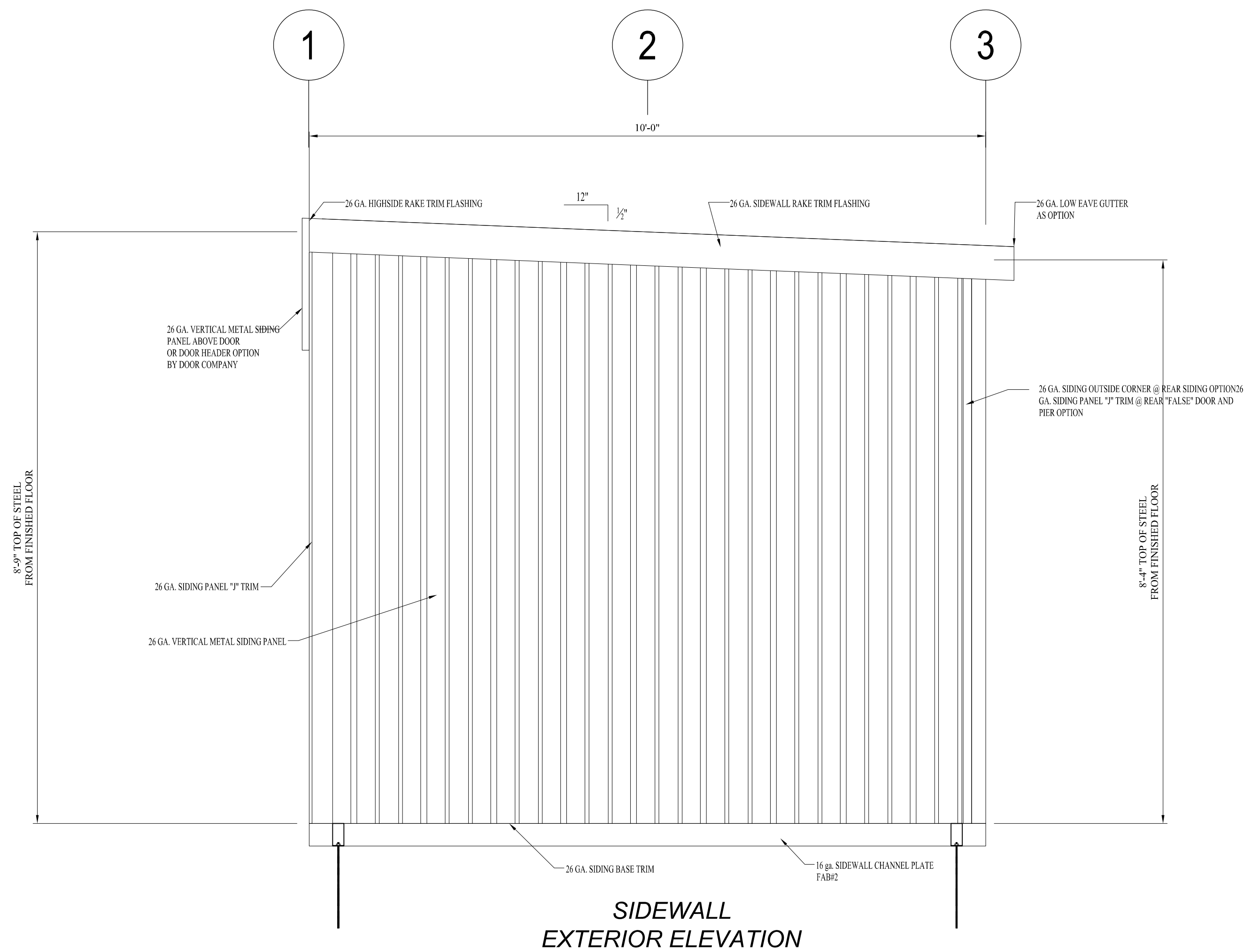
PROPERTY OF:  
KBM Inc.  
STEEL CONSTRUCTION

CONFIDENTIAL: THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM Inc.  
UNAUTHORIZED COPYING,  
DISCLOSURE OR OTHER  
UNAUTHORIZED USES ARE PROHIBITED.  
SHEET SIZE:24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE#932072

|            |
|------------|
| DRAWN      |
| DATE       |
| 10/23/2024 |
| SCALE      |
| PER PLAN   |
| SHEET      |
| S3         |

OF SHEETS



| JOB PROGRESS |      | DESCRIPTION |    | BY  |      | DATE        |    |
|--------------|------|-------------|----|-----|------|-------------|----|
| NO.          | DATE | DESCRIPTION | BY | NO. | DATE | DESCRIPTION | BY |
| 1            |      |             |    | 7   |      |             |    |
| 2            |      |             |    | 8   |      |             |    |
| 3            |      |             |    | 9   |      |             |    |
| 4            |      |             |    | 10  |      |             |    |
| 5            |      |             |    | 11  |      |             |    |
| 6            |      |             |    | 12  |      |             |    |

**KBM, INC.**  
Steel Construction

Steel Building Products & Installation Services  
Self Storage

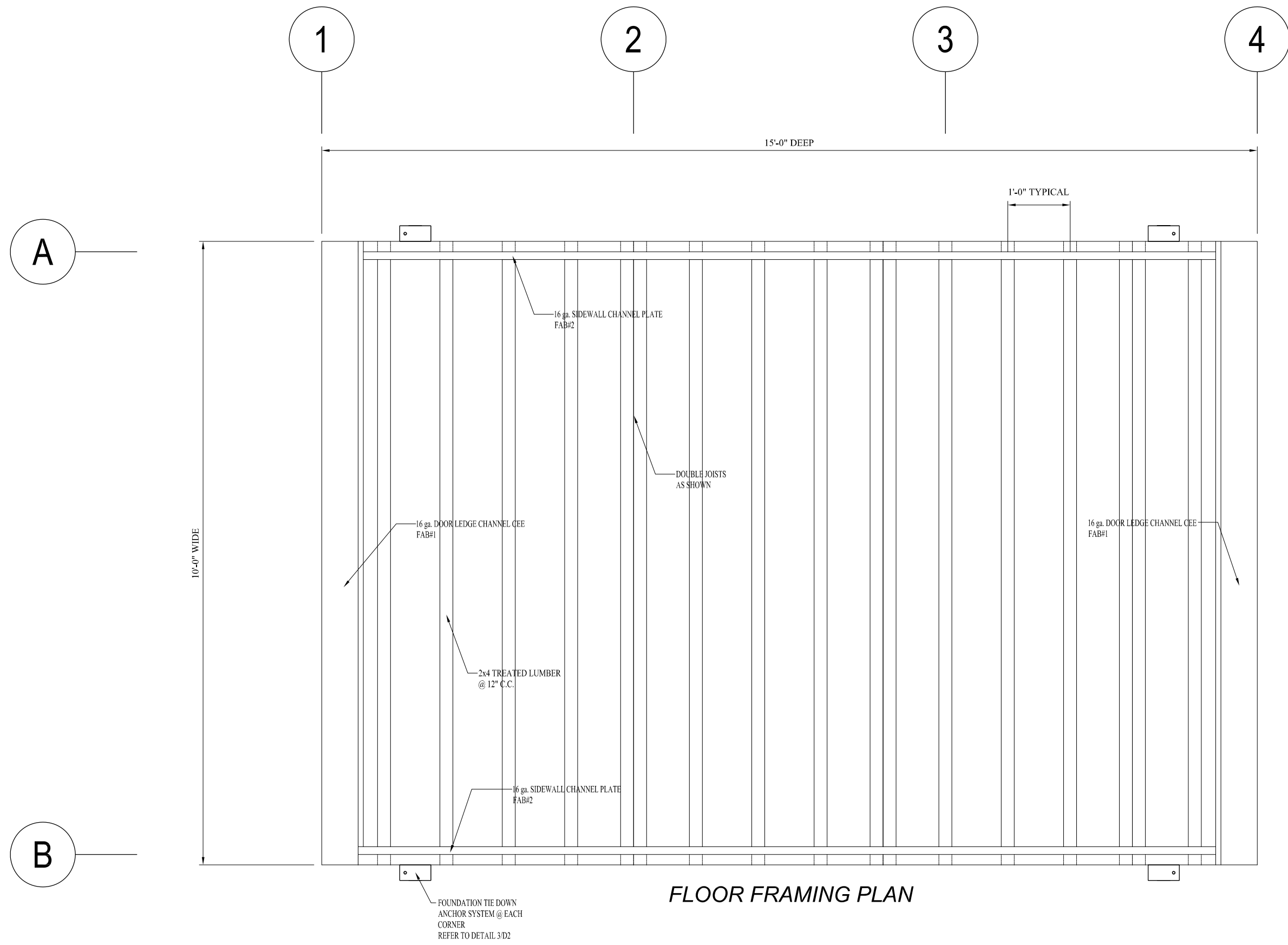
P.O. BOX 2301 / ASTON, PA. 19014  
PH: (610) 565-4868  
FAX: (610) 565-4840

PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION

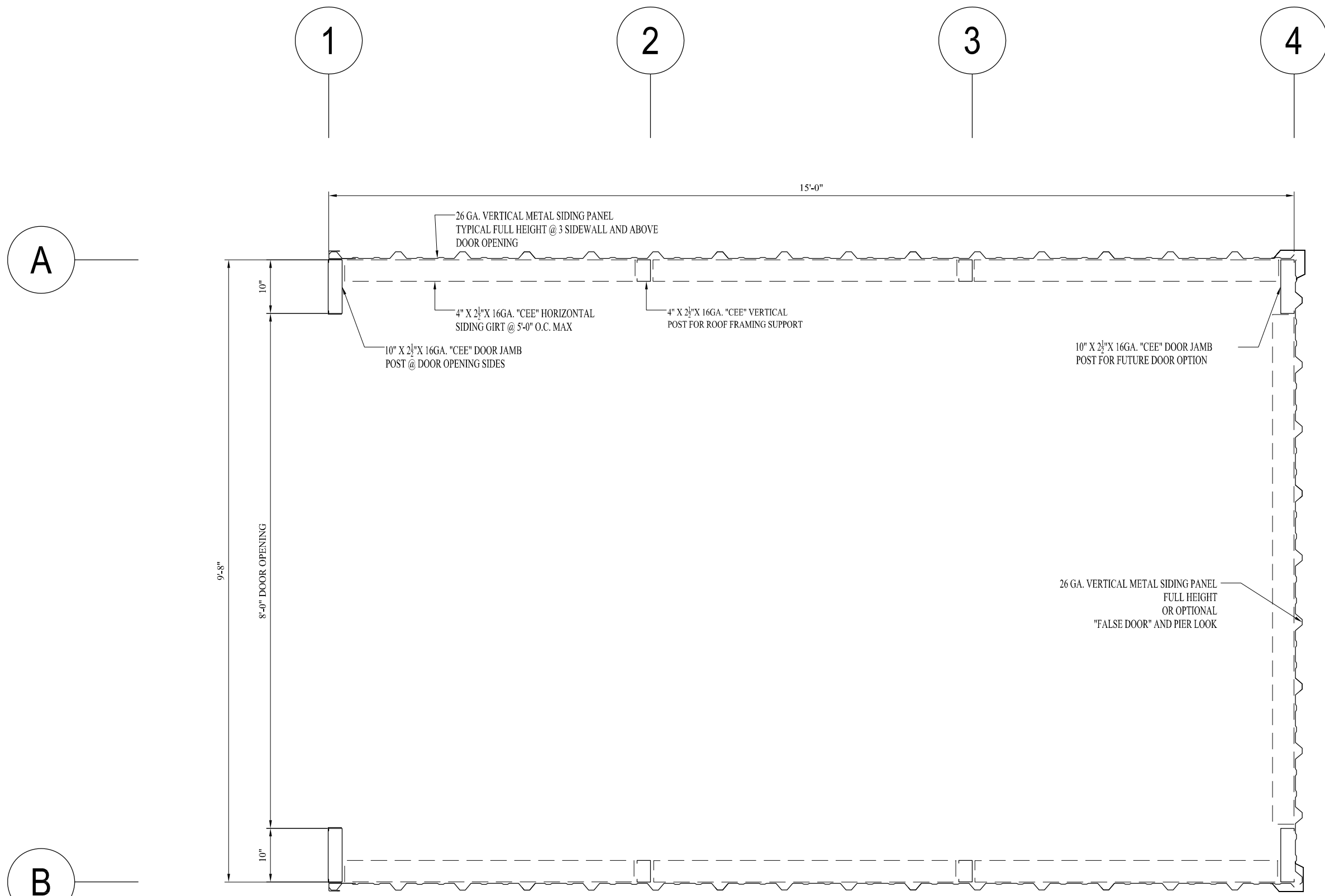
CONFIDENTIAL: THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION, OR  
DISSEMINATION OF ANY  
SHEET SIZE: 24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE #932072

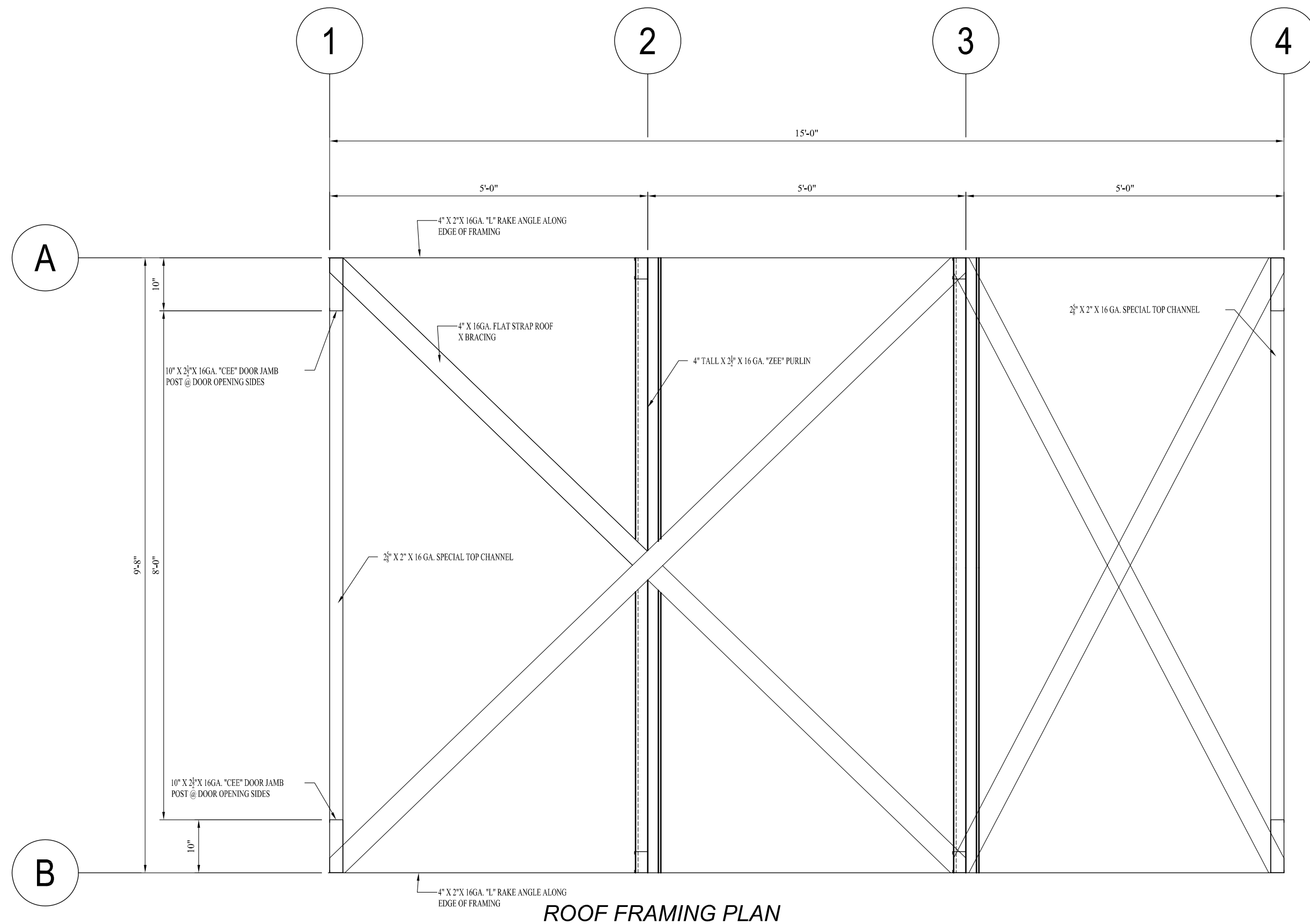
| DRAWN    |            |
|----------|------------|
| DATE     | 10/23/2024 |
| SCALE    |            |
| PER PLAN |            |
| SHEET    |            |
| S4       |            |
| OF       | SHEETS     |



FLOOR FRAMING PLAN

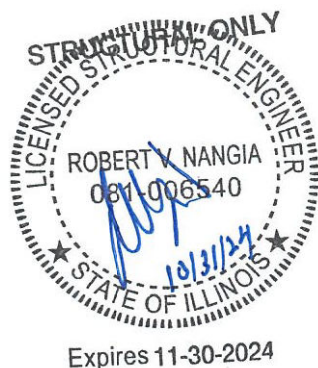


WALL FRAMING PLAN



ROOF FRAMING PLAN

RELOCATABLE MODULAR  
10'-0" WIDE X 15'-0" DEEP  
BUILDING LAYOUT PLAN



| JOB |      | PROGRESS |      | BY  |      | DATE |      | DESCRIPTION |      |
|-----|------|----------|------|-----|------|------|------|-------------|------|
| NO. | DATE | NO.      | DATE | NO. | DATE | NO.  | DATE | NO.         | DATE |
| 1   |      | 7        |      | 1   |      | 7    |      | 1           |      |
| 2   |      | 8        |      | 2   |      | 8    |      | 2           |      |
| 3   |      | 9        |      | 3   |      | 9    |      | 3           |      |
| 4   |      | 10       |      | 4   |      | 10   |      | 4           |      |
| 5   |      | 11       |      | 5   |      | 11   |      | 5           |      |
| 6   |      | 12       |      | 6   |      | 12   |      | 6           |      |

**KBM, INC.**  
Steel Construction

Steel Building Products & Installation Services  
Self Storage

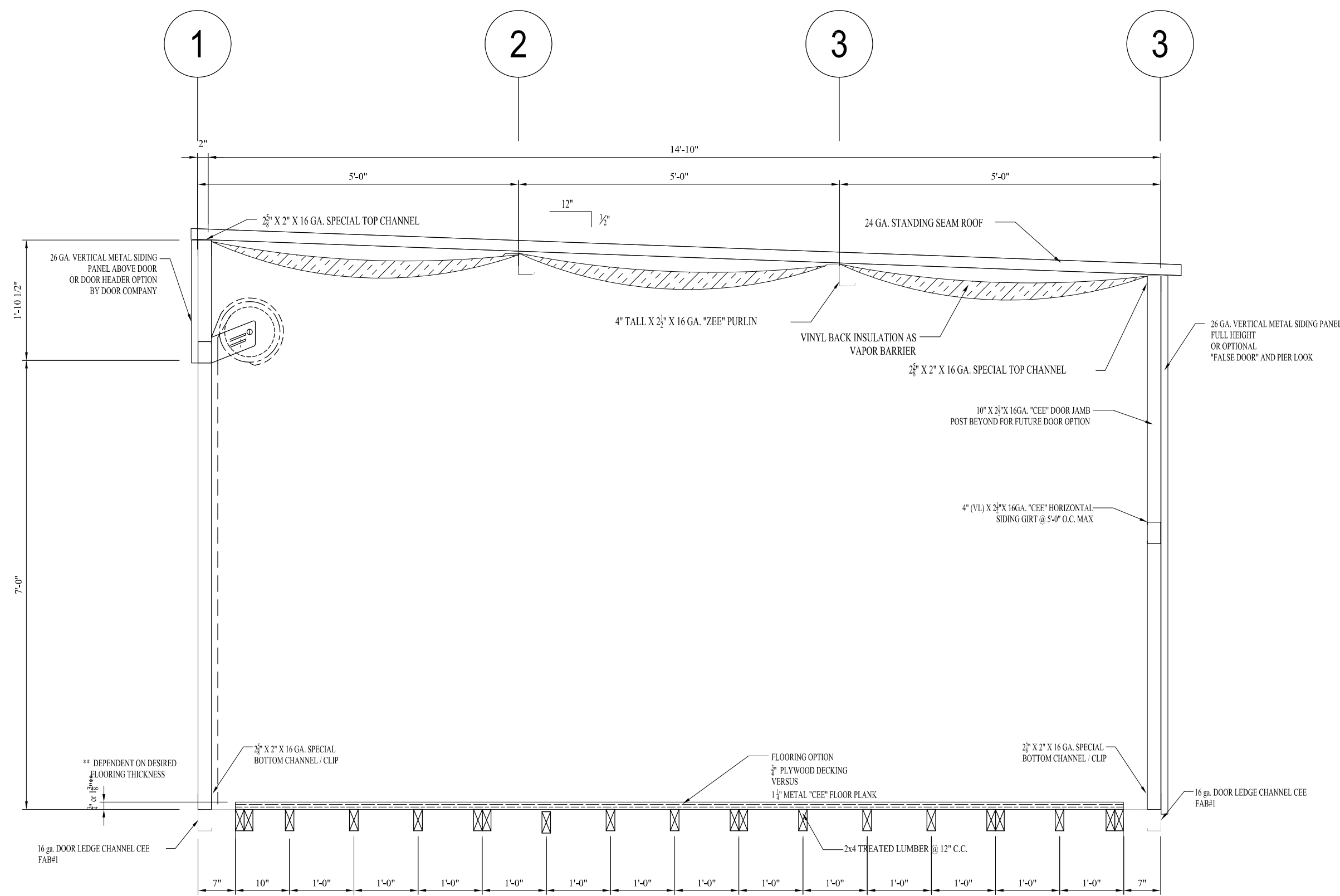
P.O. BOX 2301 / ASTON, PA. 19014  
PH (610) 565-4388  
FAX (610) 565-4340

PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION

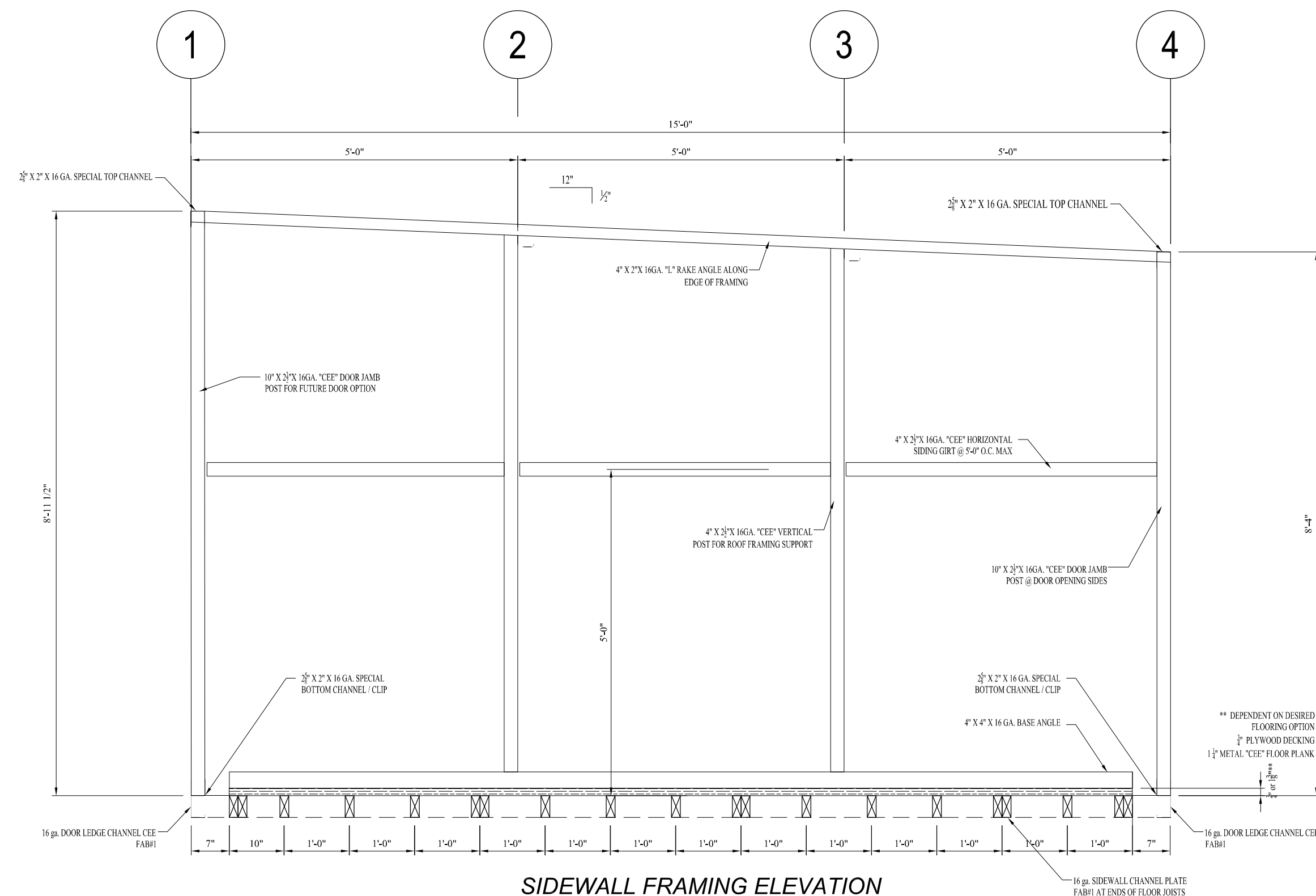
CONFIDENTIAL - THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION OR DISSEMINATION  
UNAUTHORIZED USES ARE PROHIBITED.  
SHEET SIZE: 24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE #932072

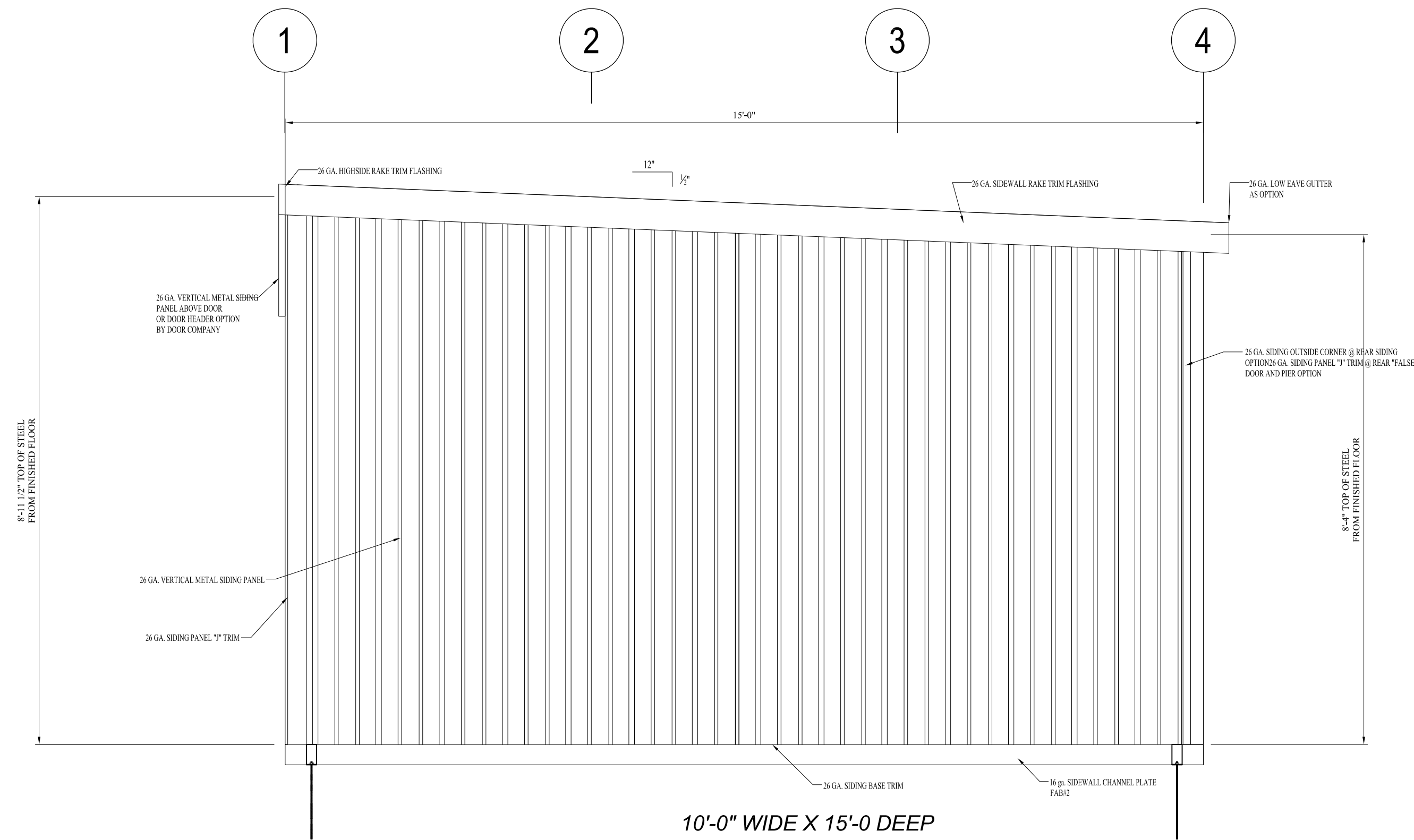
| DRAWN    |            |
|----------|------------|
| DATE     | 10/23/2024 |
| SCALE    |            |
| PER PLAN |            |
| SHEET    | S5         |
| OF       | SHEETS     |



10'-0" WIDE X 15'-0 DEEP BUILDING SECTION

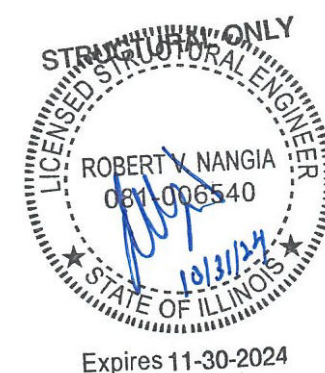


SIDEWALL FRAMING ELEVATION  
10'-0" WIDE X 15'-0" DEEP MODEL



10'-0" WIDE X 15'-0 DEEP  
SIDEWALL EXTERIOR ELEVATION

# RELOCATABLE MODULAR 10'-0" WIDE X 15'-0" DEEP BUILDING ELEVATIONS



| JOB PROGRESS |      | BY          |    | NO. |      | DATE        |    | DESCRIPTION |      |
|--------------|------|-------------|----|-----|------|-------------|----|-------------|------|
| NO.          | DATE | DESCRIPTION | BY | NO. | DATE | DESCRIPTION | BY | NO.         | DATE |
| 1            |      |             |    | 7   |      |             |    |             |      |
| 2            |      |             |    | 8   |      |             |    |             |      |
| 3            |      |             |    | 9   |      |             |    |             |      |
| 4            |      |             |    | 10  |      |             |    |             |      |
| 5            |      |             |    | 11  |      |             |    |             |      |
| 6            |      |             |    | 12  |      |             |    |             |      |

**KBM, INC.**  
Steel Construction

Steel Building Products & Installation Services  
Steel Storage

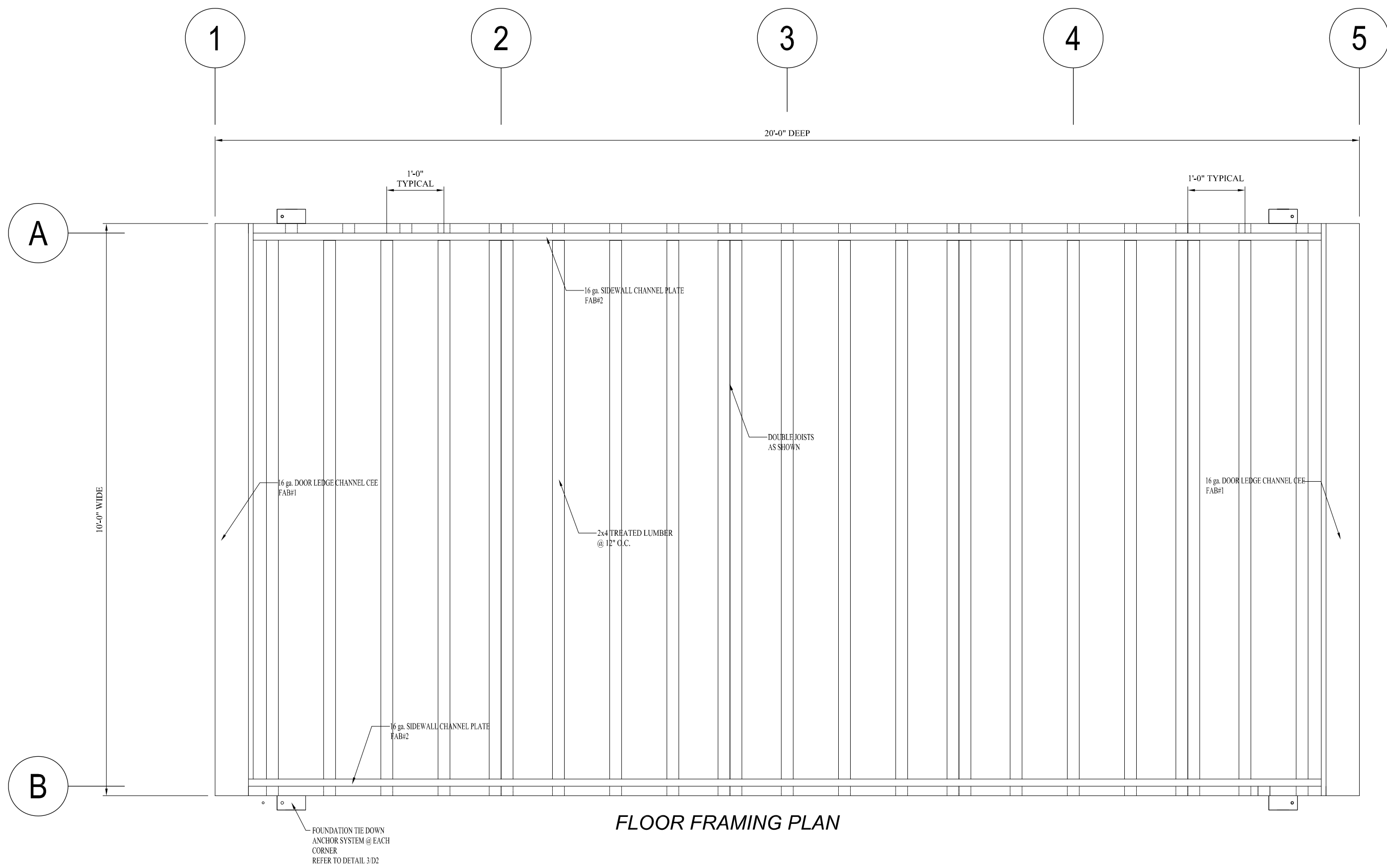
P.O. BOX 2301 / ASTON, PA 19014  
PH (610) 565-4688  
FAX (610) 565-4680

PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION

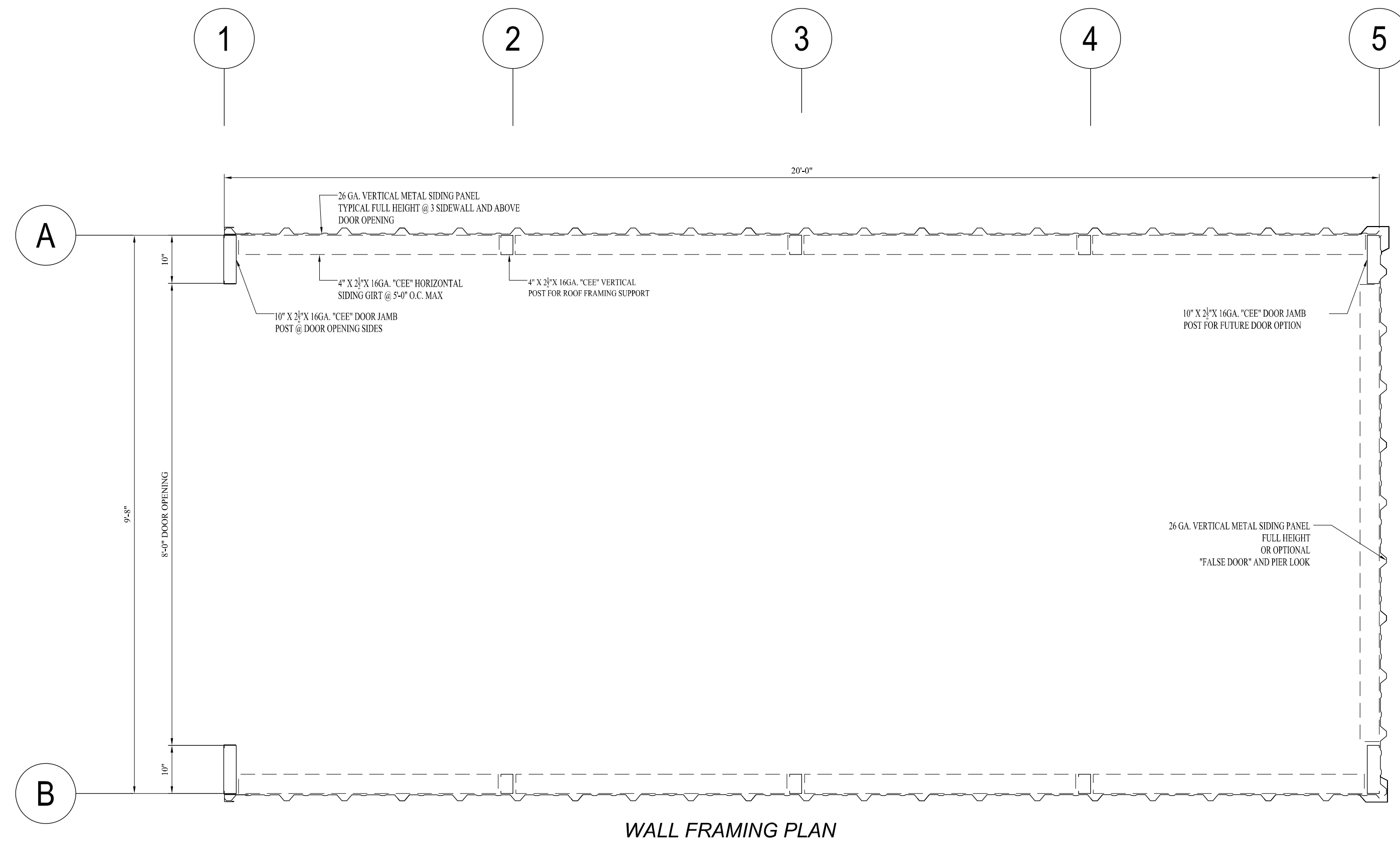
CONFIDENTIAL: THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION, OR  
UNAUTHORIZED USES ARE PROHIBITED.  
SHEET SIZE: 24x36

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE#932072

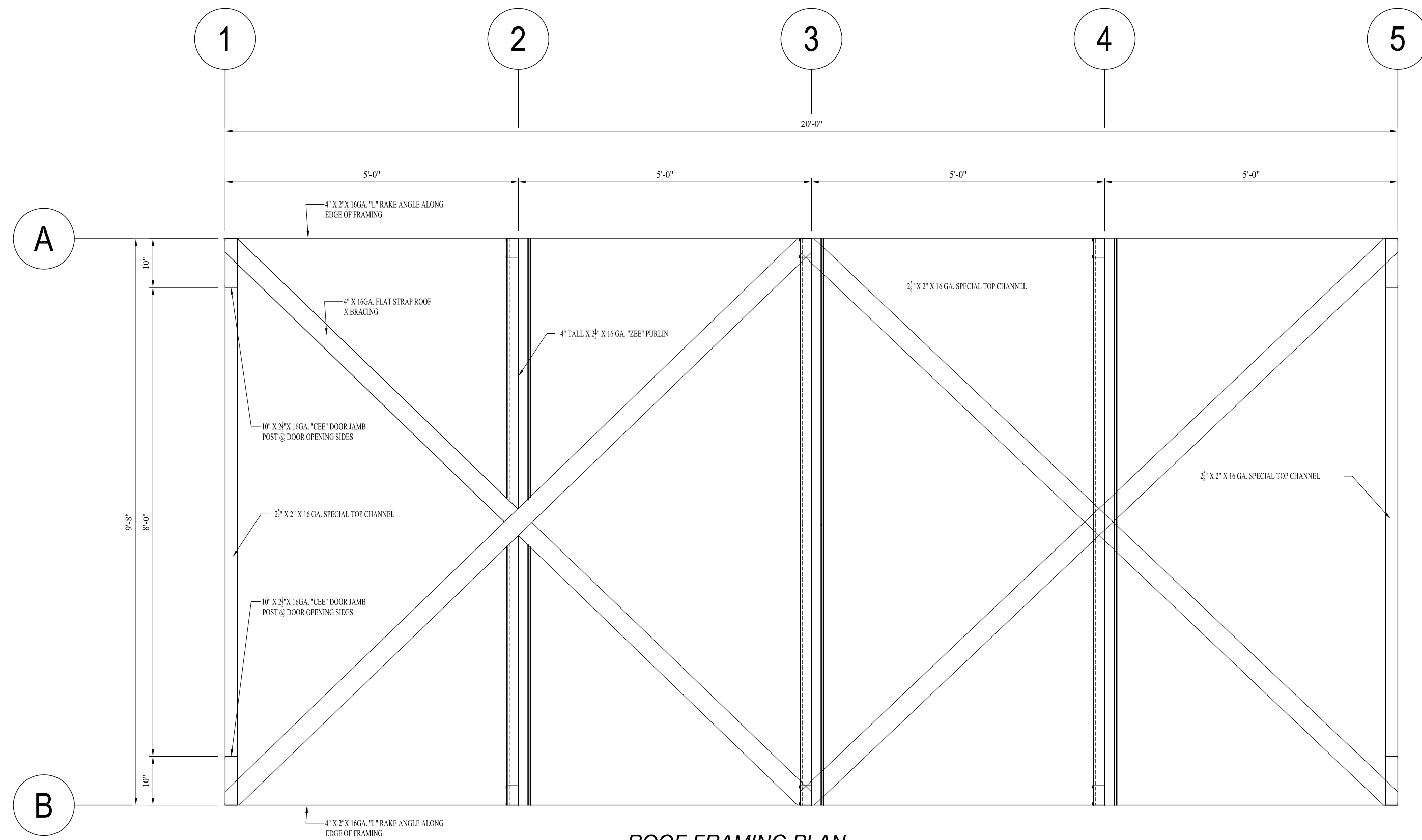
| DRAWN    |            |
|----------|------------|
| DATE     | 10/23/2024 |
| SCALE    |            |
| PER PLAN |            |
| SHEET    | S6         |
| OF       | SHEETS     |



FLOOR FRAMING PLAN

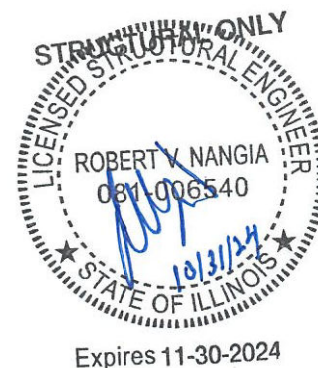


WALL FRAMING PLAN

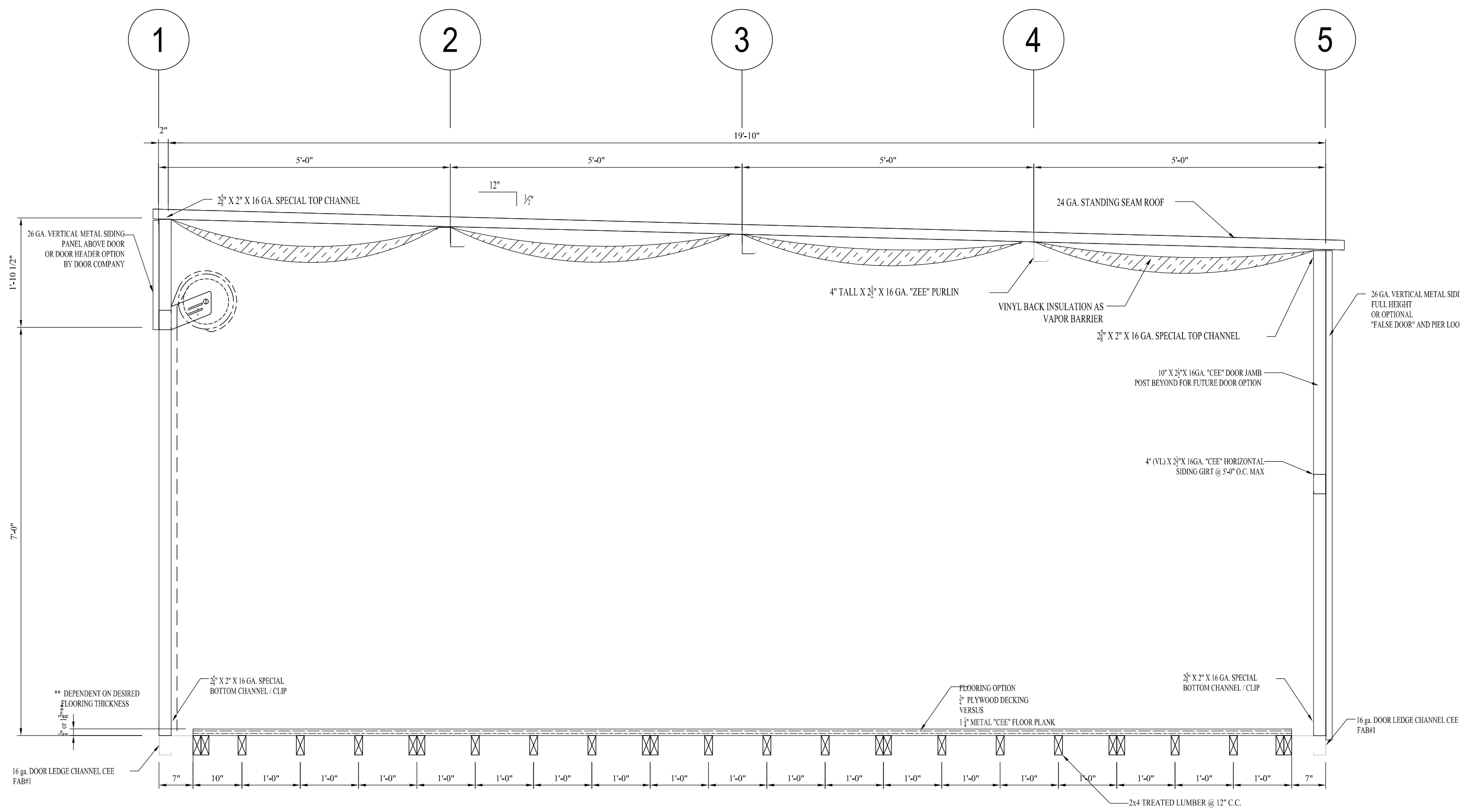


ROOF FRAMING PLAN

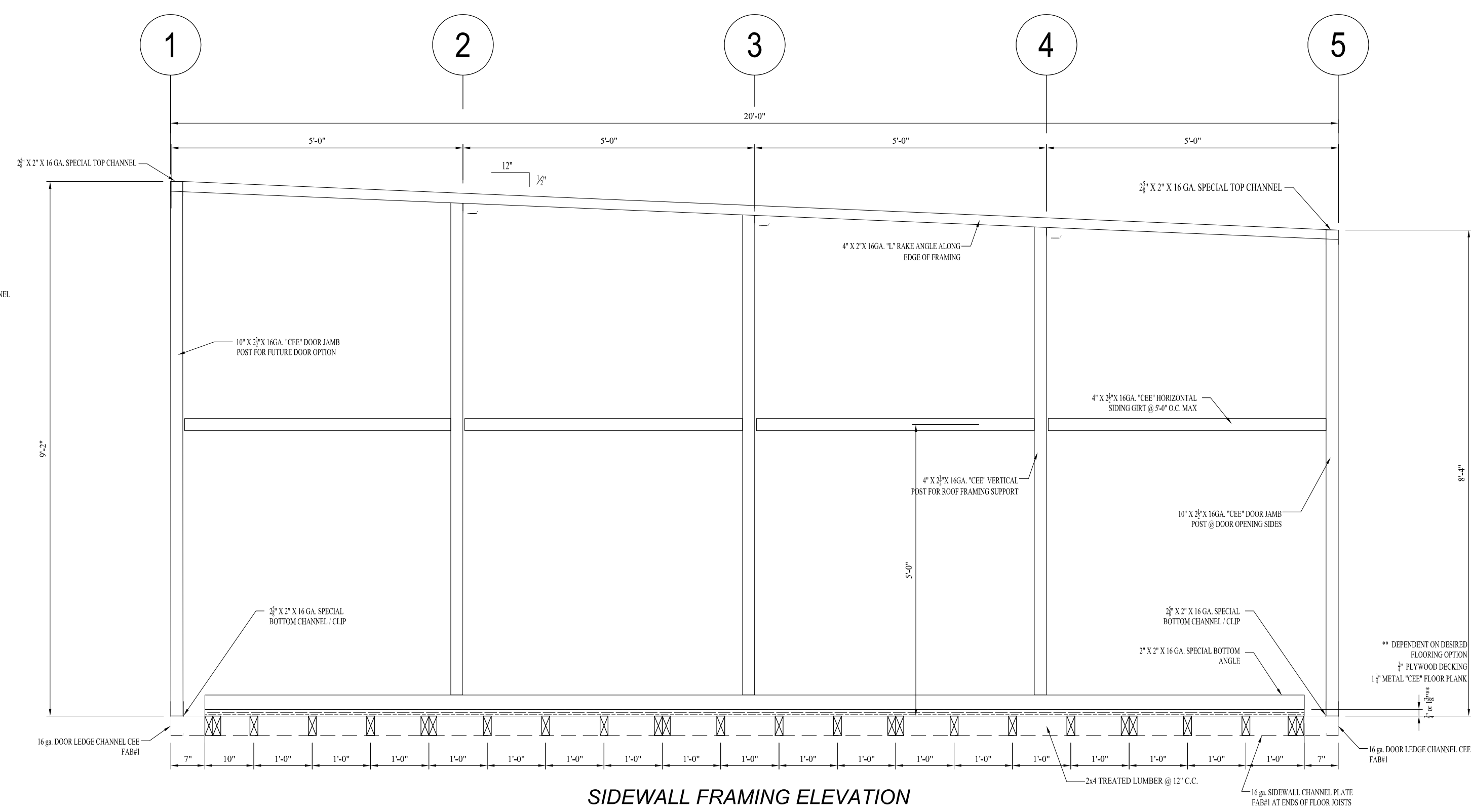
RELOCATABLE MODULAR  
10'-0" WIDE X 20'-0" DEEP  
BUILDING LAYOUT PLAN



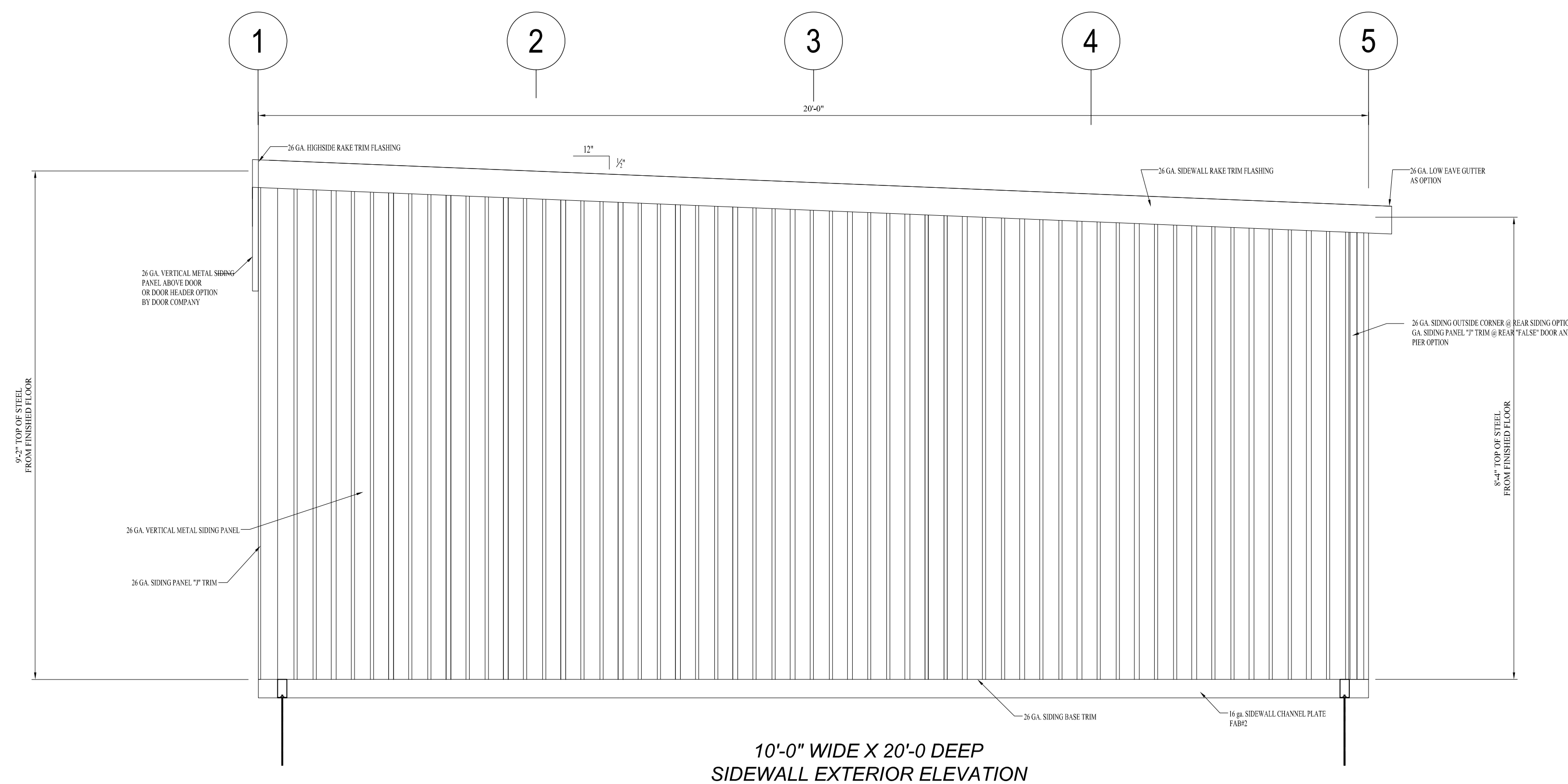
| JOB PROGRESS |      |             |     |     |      |
|--------------|------|-------------|-----|-----|------|
| NO.          | DATE | DESCRIPTION | BY  | NO. | DATE |
| 1            |      |             | sfp | 7   |      |
| 2            |      |             | sfp | 8   |      |
| 3            |      |             |     | 9   |      |
| 4            |      |             |     | 10  |      |
| 5            |      |             |     | 11  |      |
| 6            |      |             |     | 12  |      |



10'-0" WIDE X 20'-0" DEEP BUILDING SECTION

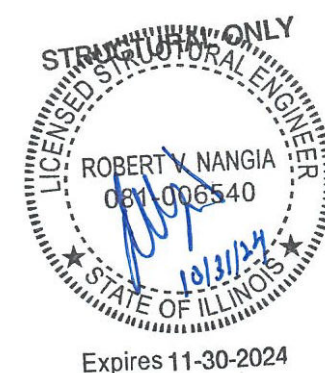


SIDEWALL FRAMING ELEVATION  
10'-0" WIDE X 20'-0" DEEP MODEL



10'-0" WIDE X 20'-0" DEEP  
SIDEWALL EXTERIOR ELEVATION

RELOCATABLE MODULAR  
10'-0" WIDE X 20'-0" DEEP  
BUILDING ELEVATIONS



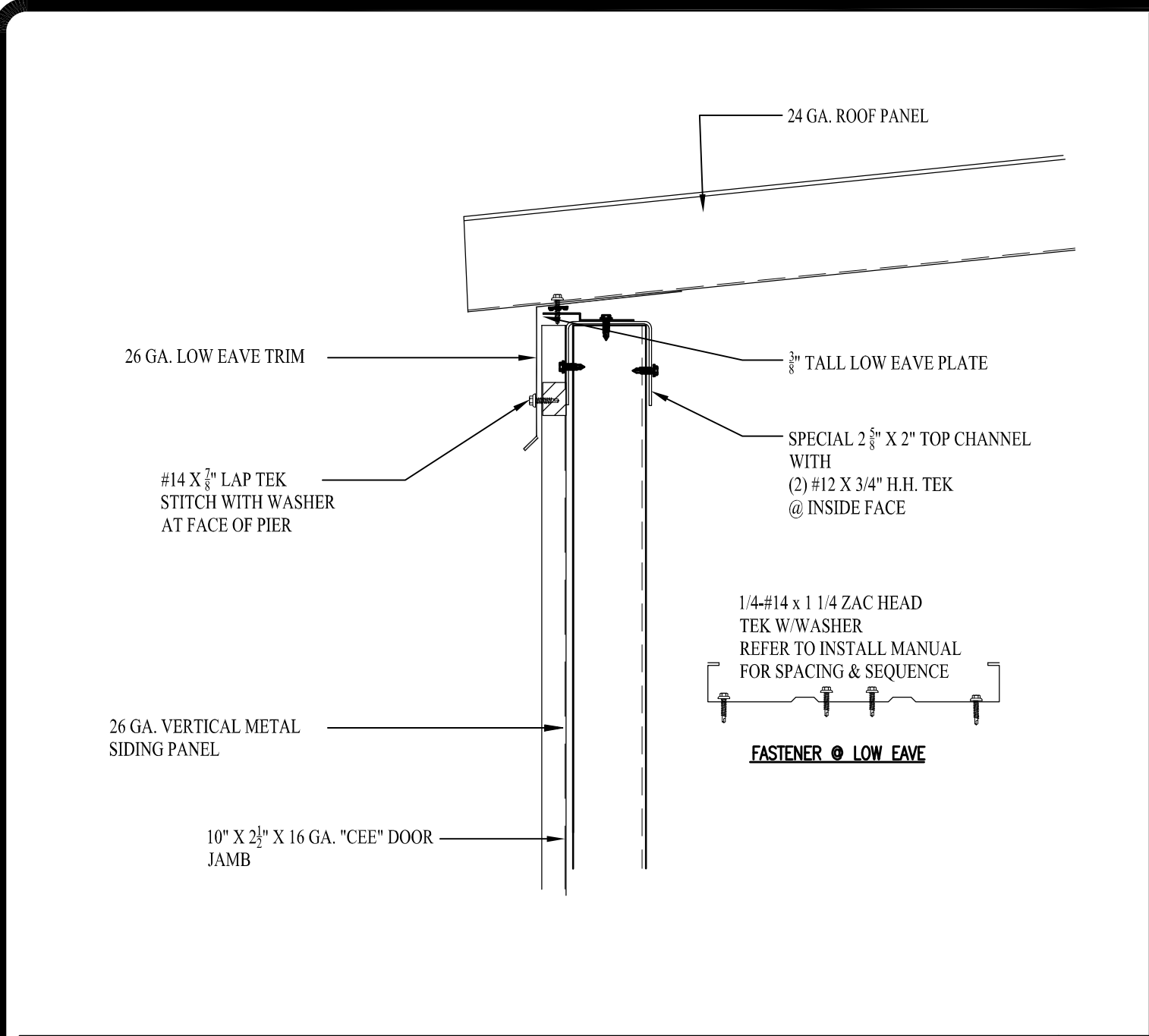
| JOB PROGRESS |      | BY  |      | NO. |      | DATE |      | DESCRIPTION |      |
|--------------|------|-----|------|-----|------|------|------|-------------|------|
| NO.          | DATE | NO. | DATE | NO. | DATE | NO.  | DATE | NO.         | DATE |
| 1            |      | 7   |      | 8   |      | 9    |      | 10          |      |
| 2            |      | 8   |      | 9   |      | 10   |      | 11          |      |
| 3            |      | 9   |      | 10  |      | 11   |      | 12          |      |
| 4            |      | 10  |      | 11  |      | 12   |      |             |      |
| 5            |      | 11  |      |     |      |      |      |             |      |
| 6            |      | 12  |      |     |      |      |      |             |      |

**KBM, INC.**  
Steel Construction  
Steel Building Products & Installation Services  
Self Storage  
P.O. BOX 2301 / ASTON, PA. 19014  
PH (610) 565-4688  
FAX (610) 565-4680

PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION  
CONFIDENTIAL - THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION OR USE IS PROHIBITED.  
SHEET SIZE: 24x36

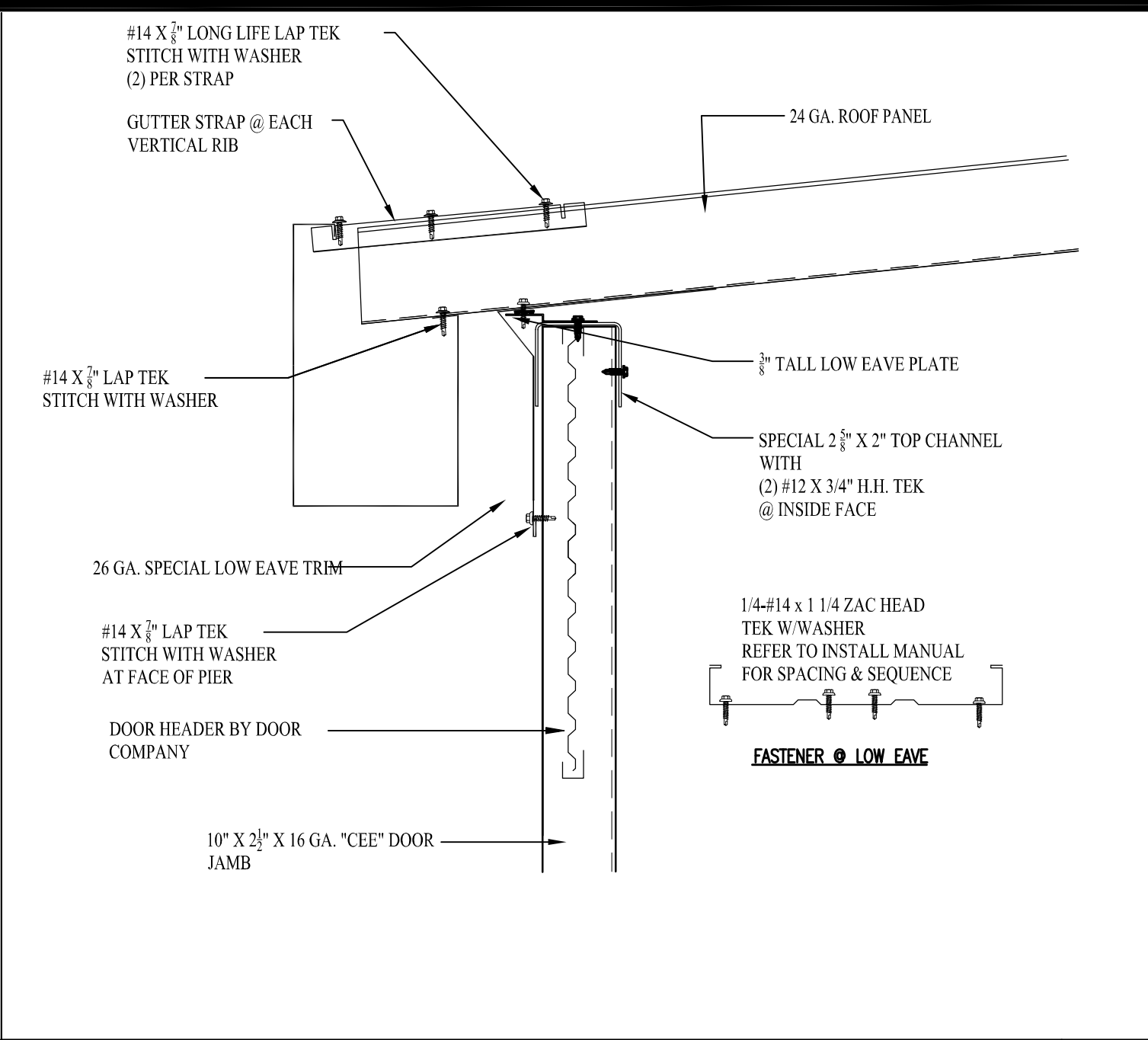
UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE #932072

| DRAWN |            | DATE  |  | SCALE    |  | PER PLAN |  | SHEET |        |
|-------|------------|-------|--|----------|--|----------|--|-------|--------|
| DATE  | 10/23/2024 | SCALE |  | PER PLAN |  | SHEET    |  | OF    | SHEETS |
| S8    |            |       |  |          |  |          |  |       |        |



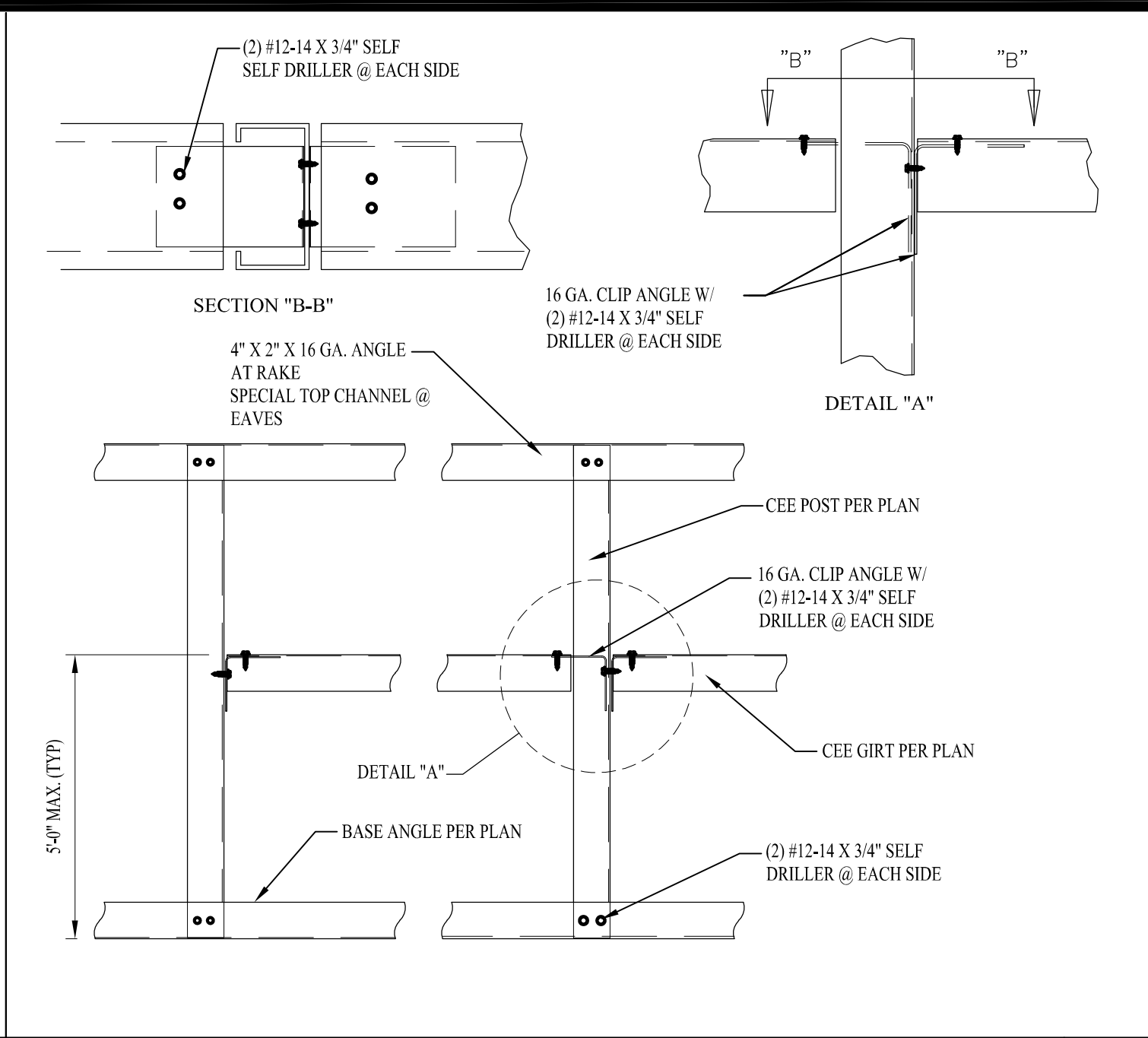
LOW EAVE TRIM WITH SIDING

11



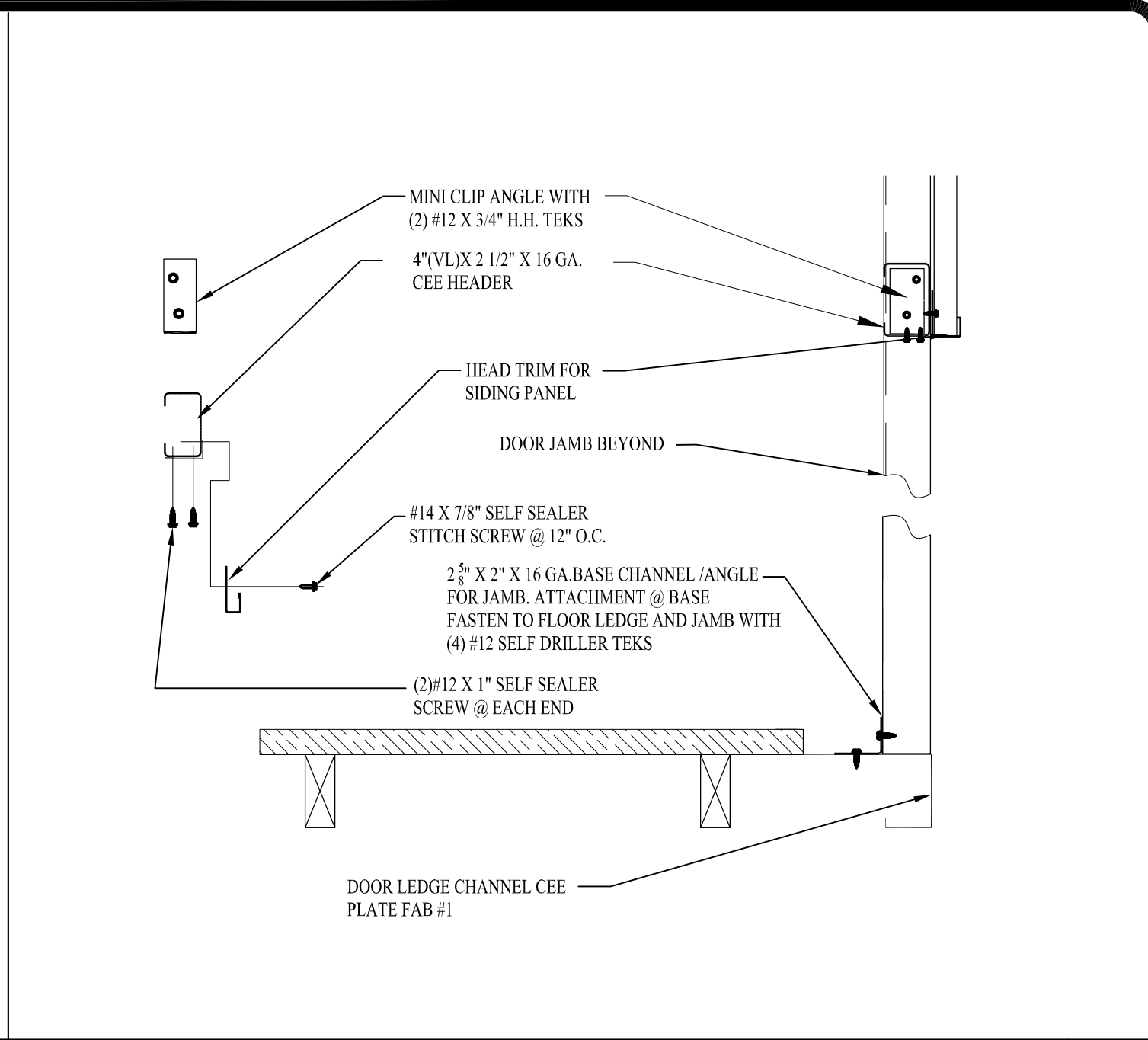
GUTTER OPTION WITH DOOR HEADER

8



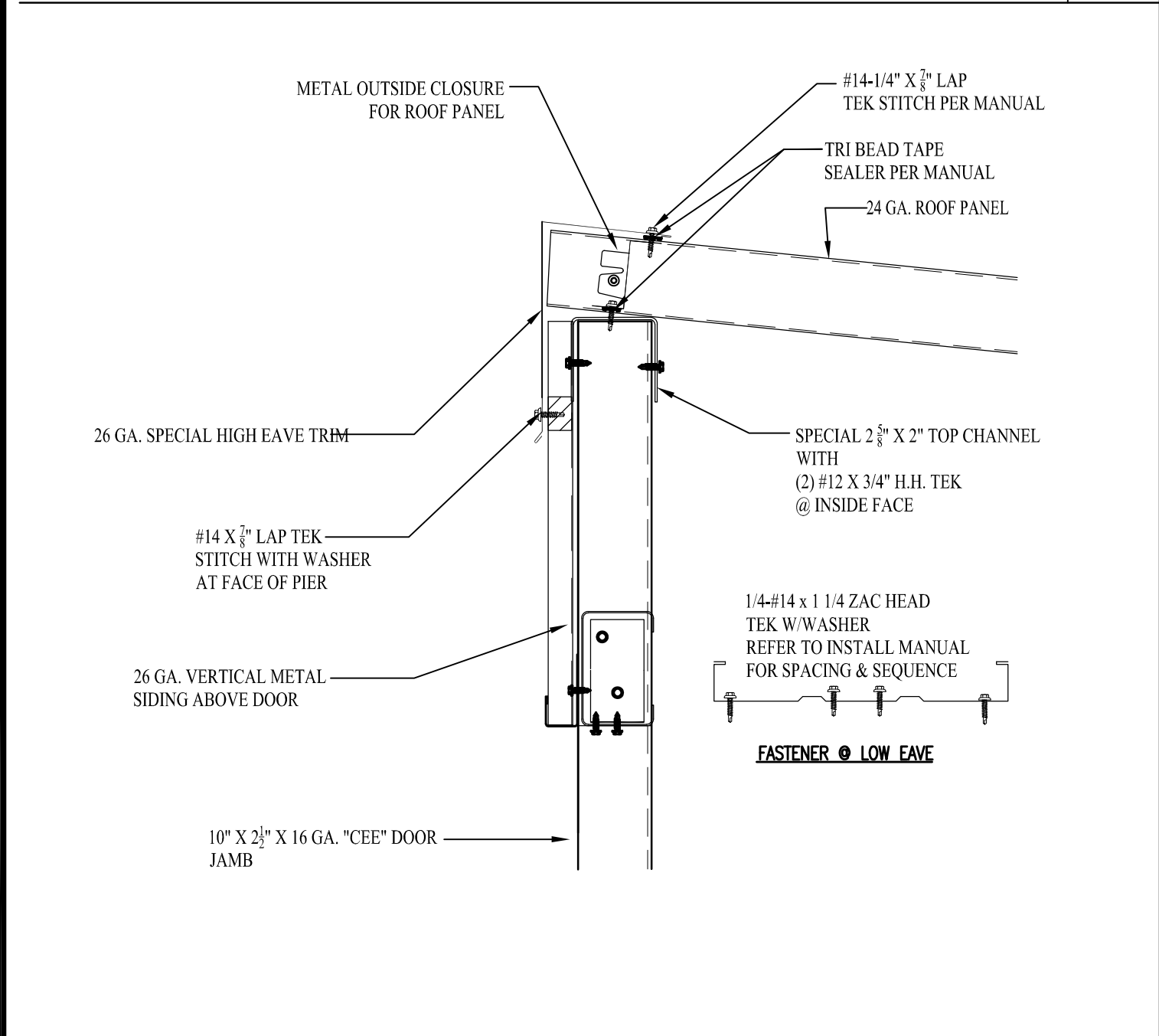
SIDING GIRT DETAIL

5



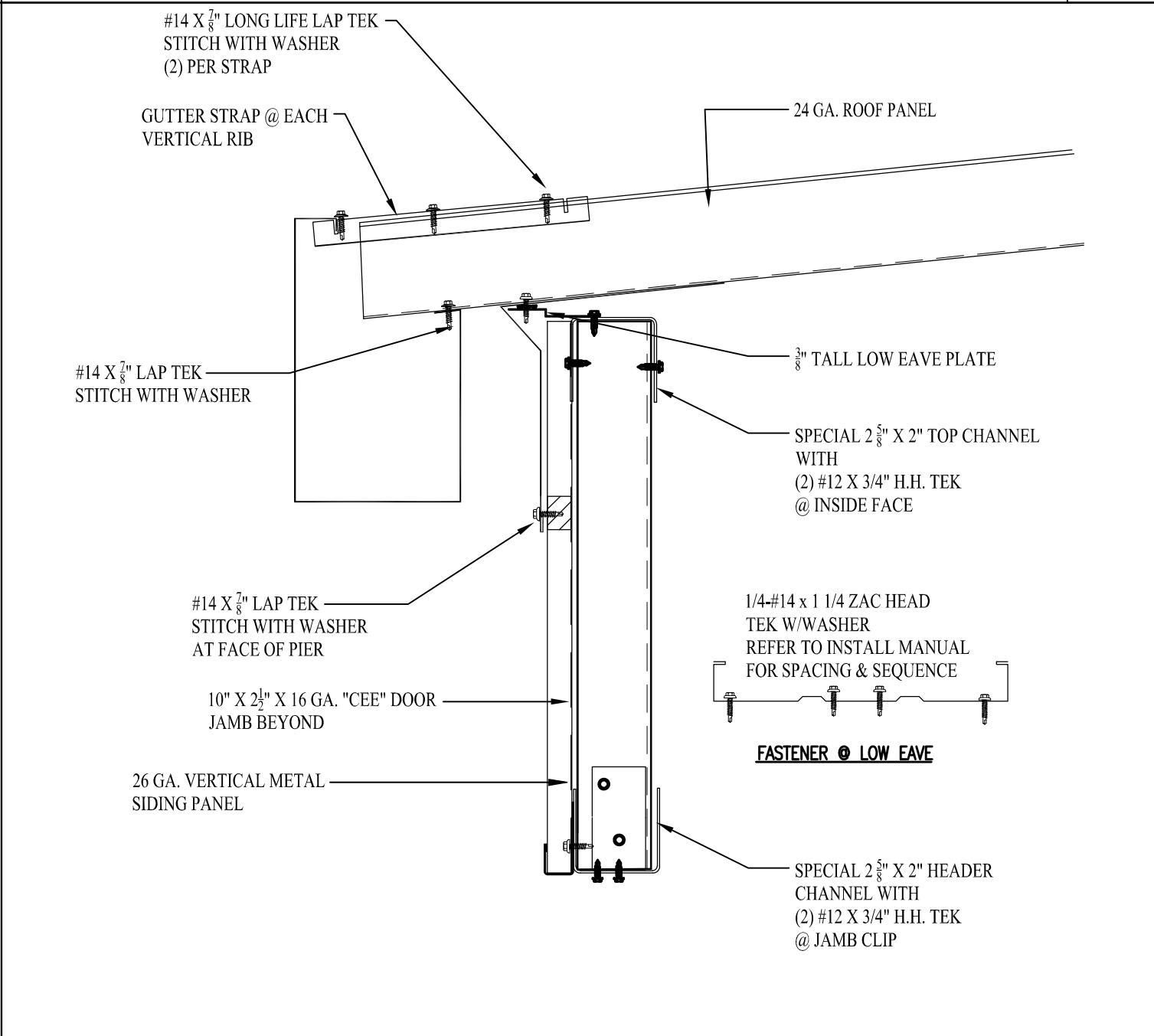
DOOR HEADER ASSEMBLY FOR SIDING OPTION

2



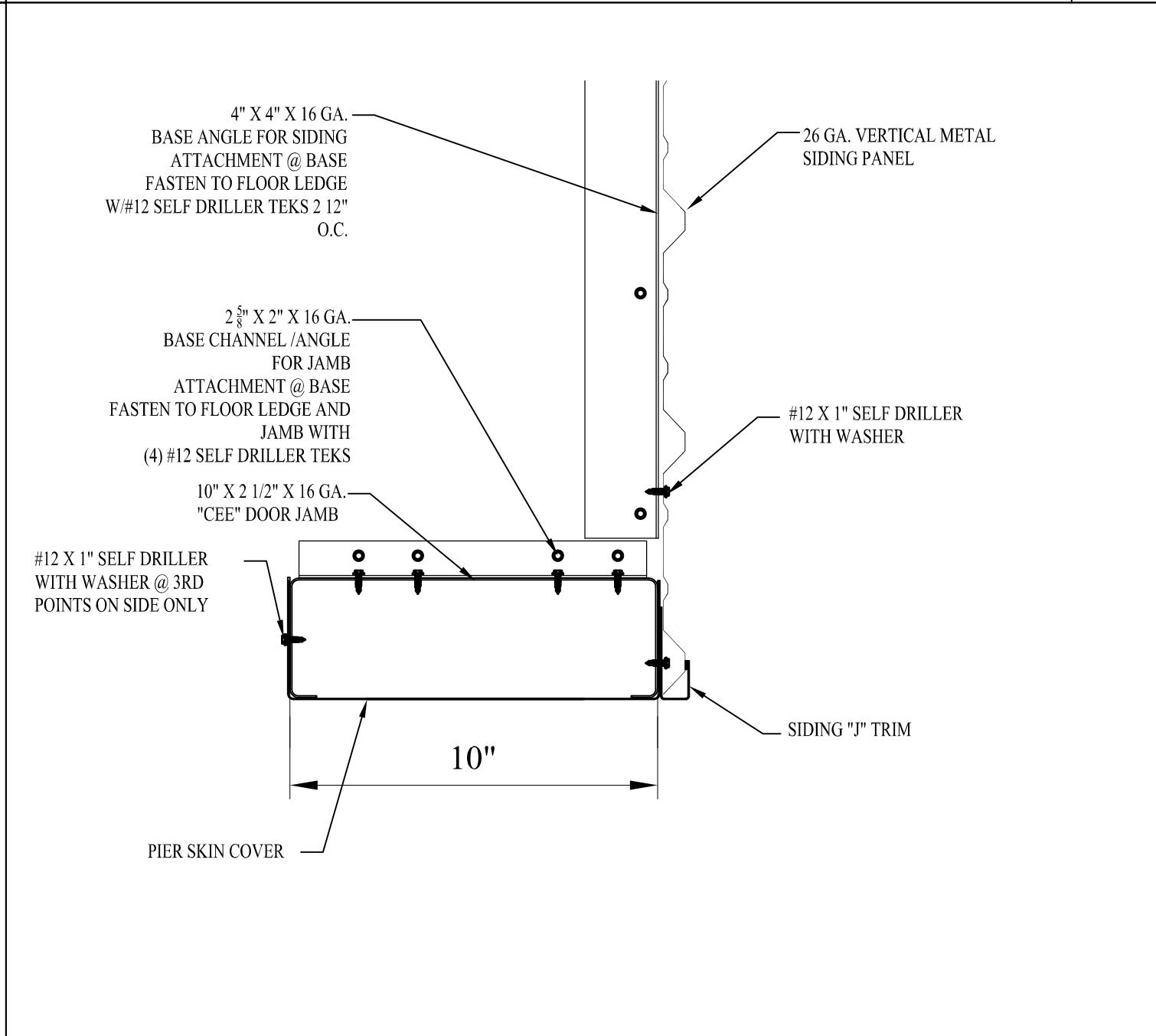
HIGH SIDE EAVE TRIM WITH SIDING

10



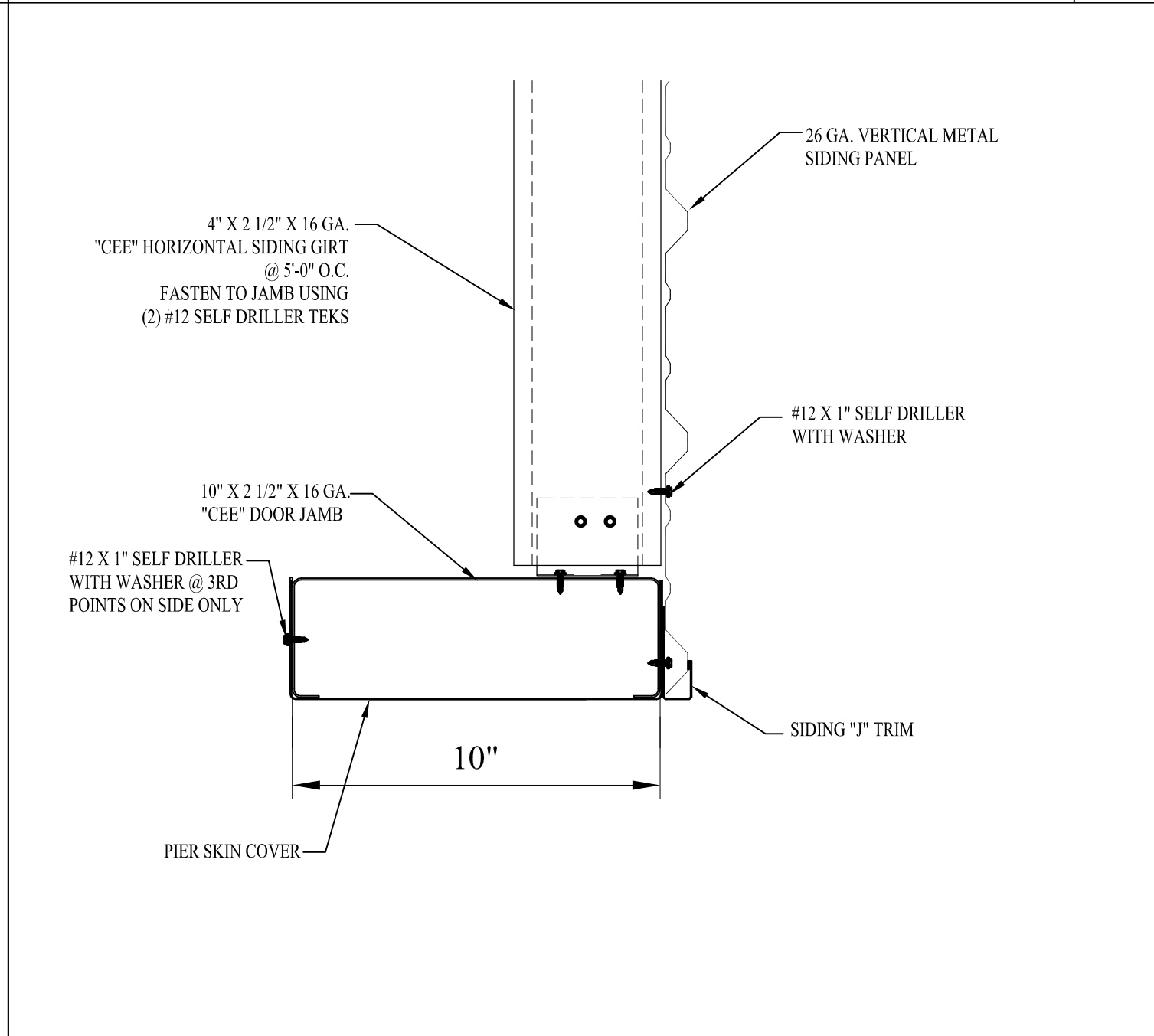
GUTTER OPTION WITH SIDING

7



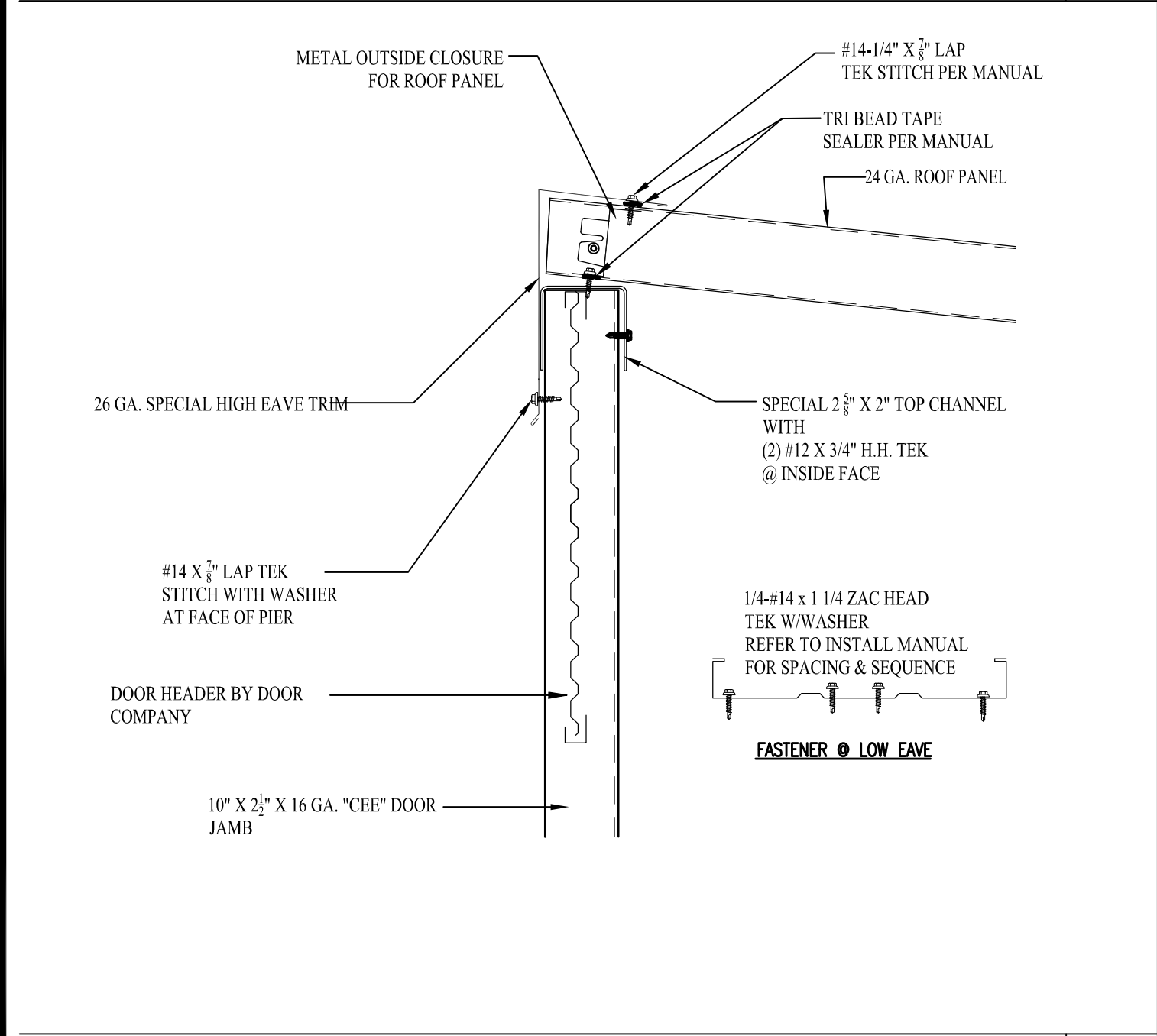
CORNER PIER ASSEMBLY AT FLOOR

4



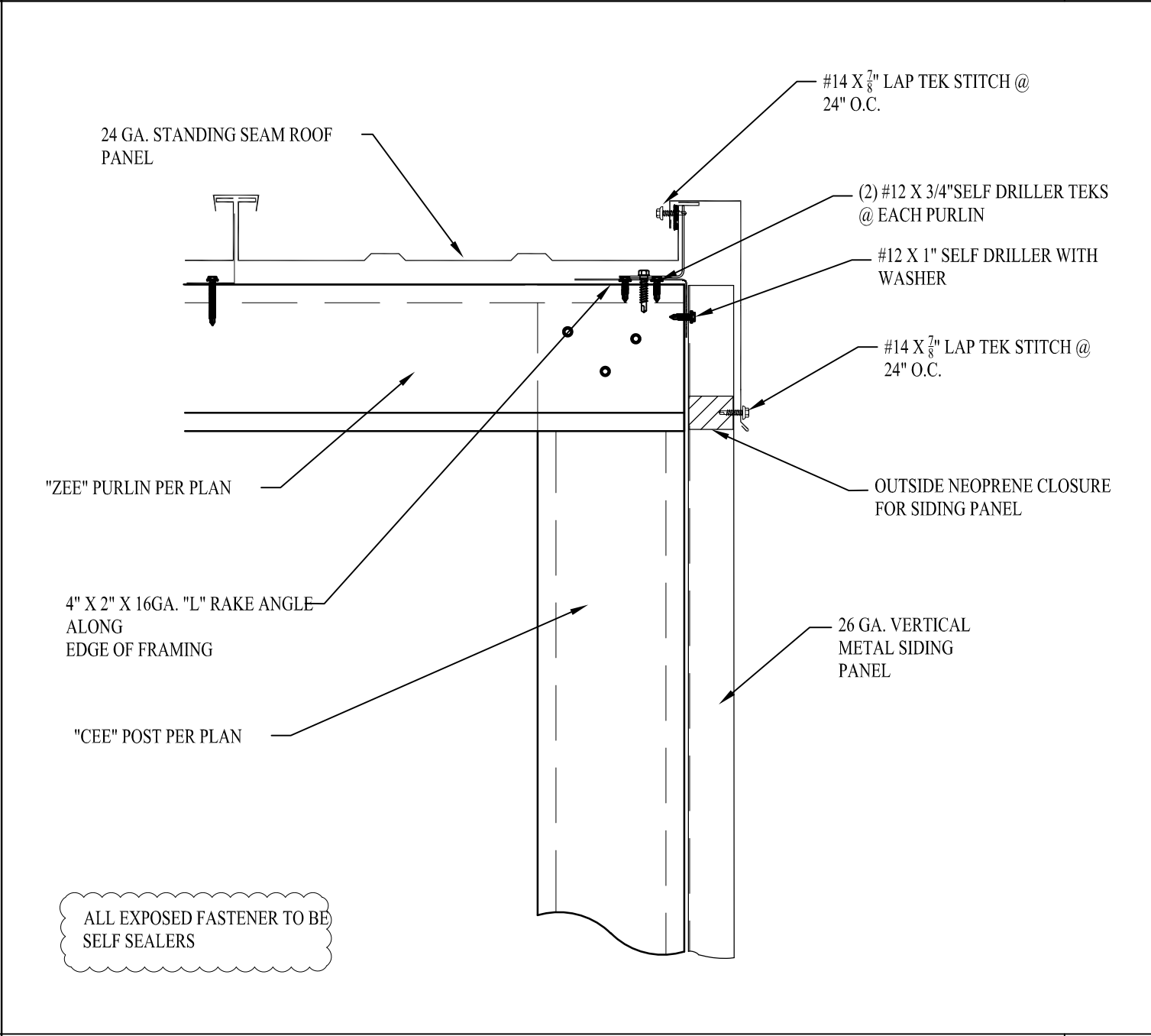
CORNER PIER ASSEMBLY @ MID HEIGHT

1



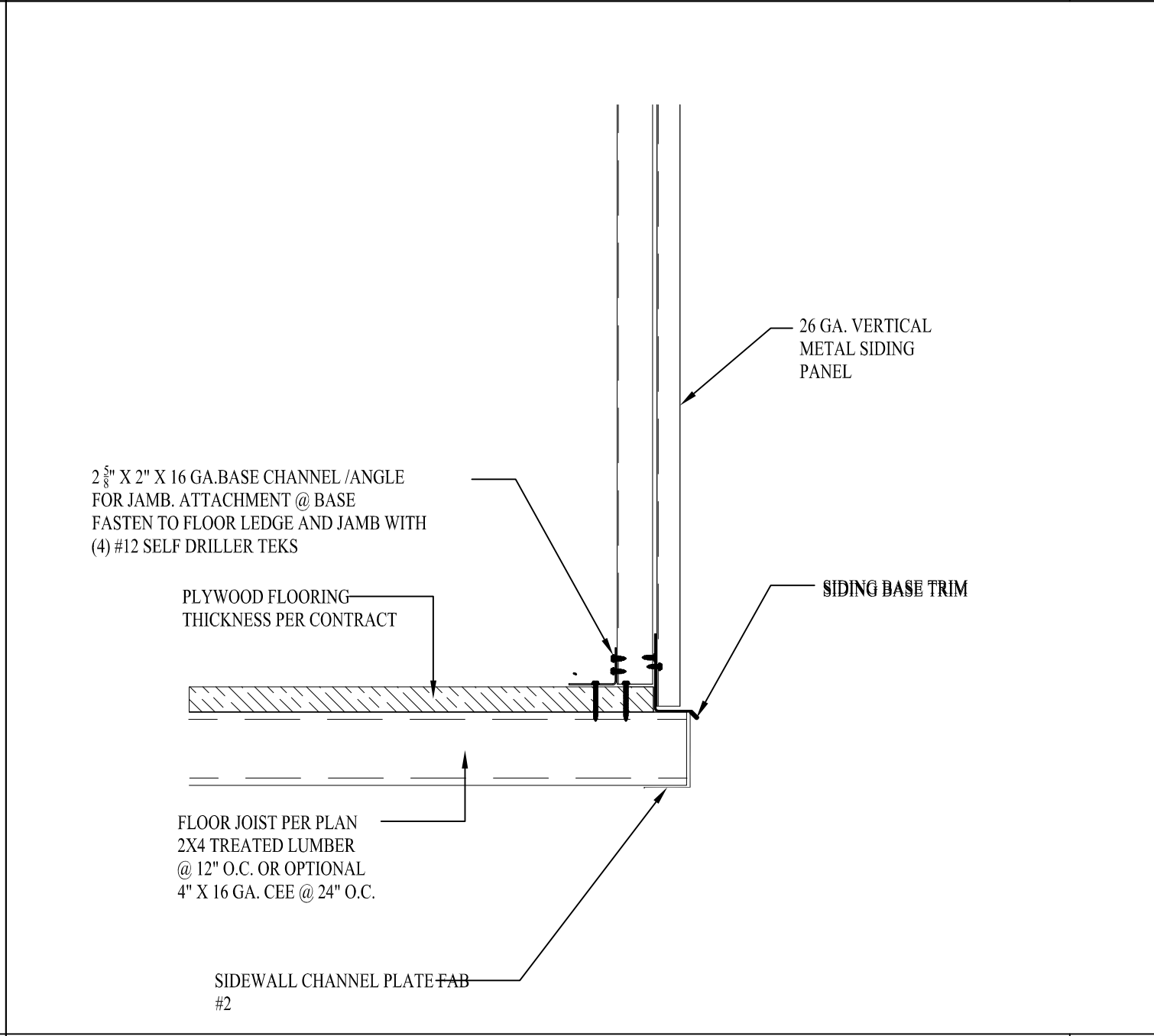
EAVE TRIM OPTION W/ DOOR HDR

9



SIDEWALL DETAIL

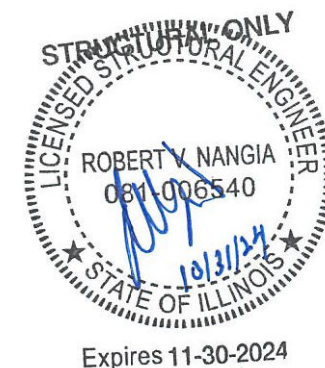
6



SIDING BASE DETAIL

3

RELOCATABLE MODULAR  
BUILDING DETAILS



| JOB PROGRESS |      | DESCRIPTION |  | BY  |      | DATE        |  |
|--------------|------|-------------|--|-----|------|-------------|--|
| NO.          | DATE | DESCRIPTION |  | NO. | DATE | DESCRIPTION |  |
| 1            |      |             |  | 7   |      |             |  |
| 2            |      |             |  | 8   |      |             |  |
| 3            |      |             |  | 9   |      |             |  |
| 4            |      |             |  | 10  |      |             |  |
| 5            |      |             |  | 11  |      |             |  |
| 6            |      |             |  | 12  |      |             |  |

PROPERTY OF:  
KBM INC.  
STEEL CONSTRUCTION

CONFIDENTIAL - THIS DOCUMENT  
AND THE INFORMATION CONTAINED  
HEREIN ARE THE PROPERTY OF KBM INC.  
UNAUTHORIZED COPYING,  
REPRODUCTION OR  
DISSEMINATION OF ANY  
SHEET SIZE: 24x36

**KBM, INC.**  
Steel Construction

Steel Building Products & Installation Services  
Self Storage

P.O. BOX 2301 / ASTON, PA. 19014  
PH: (610) 665-4868  
FAX: (610) 665-4840

UHAUL OF ROCK ISLAND  
3840 46TH AVE  
ROCK ISLAND, IL 61201  
UHAUL STORE#932072

| DRAWN    |            |
|----------|------------|
| DATE     | 10/23/2024 |
| SCALE    |            |
| PER PLAN |            |
| SHEET    |            |
| D1       |            |
| OF       | SHEETS     |





2727 North Central Avenue, 5-N • Phoenix, Arizona 85004  
Phone : 602.263.6555 • Fax : 602.277.5824 • Email: [edward\\_fox@uhaul.com](mailto:edward_fox@uhaul.com)

## **Outparcel Memo**

U-Haul is dedicated to working with NAI Hiffman for the purpose of marketing and leasing the outparcel at 3840 46th Avenue, Rock Island, Illinois. By partnering with NAI Hiffman, U-Haul is tapping into their industry knowledge and marketing reach to attract potential tenants. This .50-acre property, located at the busy intersection of 46th Avenue and 38th Street, is zoned B-4 Highway-Intensive Business District, making it a prime spot for commercial development.

NAI Hiffman has been promoting this property since 2019 with a comprehensive marketing approach. This includes regular email blasts to the Quad City broker community, with recent outreach on dates like October 23, 2024, June 18, 2024, and March 28, 2024. U-Haul and NAI Hiffman have also been quick to respond to inquiries, ensuring interested parties receive timely updates and support.

The parcel's proximity to major highways, including I-74 and I-280, makes it an attractive option for businesses. NAI Hiffman's marketing materials highlight the property's visibility, accessibility, and location advantages to draw in a variety of potential tenants. This collaboration underscores U-Haul's commitment to supporting economic growth in the City of Rock Island while facilitating a successful lease of the property.

U-Haul looks forward to working with the City of Rock Island as you consider the Variance we are currently submitting.

Sincerely,

Edward Fox  
AMERCO Real Estate - Planner



December 18, 2024

Katie Dalton  
**Amerco Real Estate Company, U-Haul**  
 2727 N Central Avenue  
 Phoenix, AZ 85004

**RE: Exclusive Listing Agreement (the "Agreement") for certain real property commonly known as 3840 46<sup>th</sup> Avenue, Rock Island, IL 61201 (the "Property") dated August 15, 2019 between Amerco Real Estate Company, a Nevada corporation ("Owner") and Hiffman Shaffer Associates, Inc. d/b/a NAI Hiffman, an Illinois corporation ("Broker")**

Dear Katie:

This Letter Agreement ("Letter Agreement") shall reconfirm the agreement between Owner and Broker, that the term of the Agreement is hereby extended to December 31, 2025. If neither Owner nor Broker elects to terminate the Agreement as of the extension date above, the Term shall automatically be renewed for a period of ninety (90) days, except that Owner may at any time thereafter, with 30 days' prior written notice to Broker, terminate the Agreement, subject to the post term rights of the parties.

Except as specifically amended, the Agreement remains in full force and effect and is hereby ratified by the parties hereto. In the event that any of the terms or conditions of the Agreement conflict with this Letter Agreement, the terms and conditions of this Letter Agreement shall control.

Please signify agreement with the terms of this Letter Agreement by executing where provided below.

**ACCEPTED**

**OWNER: AMERCO Real Estate Company**

DocuSigned by:  
 By: Matthew P Braccia  
 Its: 063F6FF6A341E Authorized Agent  
 Date: 12/19/2024

Address: 2727 N Central Ave.  
Phoenix, AZ 85004  
 Phone: 602-263-6555

**BROKER: Hiffman Shaffer Associates, Inc.  
 d/b/a NAI Hiffman, an Illinois corporation**

By: [Signature]  
 Its: Authorized Agent  
 Date: 12/18/24

Address: One Oakbrook Terrace, Ste. 400  
Oakbrook Terrace, IL 60181  
 Phone: 630-932-1234  
 Fax: 630-932-7258

## Memorandum

**To:** Rock Island Planning & Zoning Commission  
**From:** Eunice Amissah-Mensah, Urban Planner, Tanner  
Osing, Planning & Zoning Manager  
**Subject:** Code Interpretation of front yard fence height regulation  
**Date:** January 6, 2025



---

### Introduction and Background Information:

Staff is requesting a code interpretation from the commission regarding fence height in front yards. The particular situation involves instances when houses have varying front yard setbacks. In most cases, 6 foot fences are not allowed to extend past the front building line of a residential or university zoned property. However, in practice, staff allow houses that are setback farther from the street to extend a 6 foot fence in their front yard so long as it's along the side of their property and does not extend past the point where their neighbor could place a 6 foot fence. This situation is shown in the bottom red oval in the attached diagram. Staff contend that this practice satisfies the intent of the Zoning Ordinance and is the fairest way to interpret the code. However, a recent situation has drawn this practice into question. The only other option, as staff see it, is to never allow 6 foot fences to extend past the front building line without a variance. This alternative is shown by the top red oval in the attached diagram. Staff would like the commission to decide how to interpret the code. The relevant code sections are as follows.

- **Definitions of yards:**

- *Front yard: An open space extending the full width of the lot between a principal building and the street right-of-way except for an alley, unoccupied and unobstructed from the ground upward, except as hereinafter specified.;*
- *Side yard: An open space extending from the front yard to the rear yard between a building and the side lot line, unoccupied and unobstructed from the ground upward, except as hereinafter specified.*
- *Rear yard: An open space extending the full width of a lot between a building and the rear lot line, unoccupied and unobstructed from the ground upward, except as hereinafter specified.*

- **Fence Height Requirement:**

- *11.13a Fences and walls located in a yard adjacent to a public street of residential and college and university zoned property shall be no more than four (4) feet in height and the smooth, finished, nonstructural or dressed side of a fence, if any, shall be directed toward the neighboring properties.*

### Previous Council Action (if any):

NA

### Budget Impact:

NA

**Additional Information as applicable (i.e. provide alternative options, community or staff input, staffing impact; resident impact; etc.):**

NA

**Council Goal (if applicable):**

NA

**Recommendation:**

NA

Submitted by: Eunice Amissah-Mensah, Urban Planner

---

Approved by:

**Legend**

 Front yard

 Side yard

 Rear yard

 6' fence

